

TEWKESBURY BOROUGH COUNCIL

Schedule of Planning Applications for the consideration of the **PLANNING COMMITTEE** at its meeting on 17th September 2019

	(NORTH)	(SOUTH)
General Development Applications Applications for Permission/Consent	(293 – 310)	(311 – 322)

PLEASE NOTE:

1. In addition to the written report given with recommendations, where applicable, schedule of consultation replies and representations received after the Report was prepared will be available at the Meeting and further oral reports may be made as appropriate during the Meeting which may result in a change of the Technical Planning Manager stated recommendations.
2. Background papers referred to in compiling this report are the Standard Conditions Booklet, the planning application documents, any third party representations and any responses from the consultees listed under each application number. The Schedule of third party representations received after the Report was printed, and any reported orally at the Meeting, will also constitute background papers and be open for inspection.

CONTAINING PAGE NOS. (293 to 322)

Codes for Application Types

ADV	Advert Application
AGR	Agricultural Determination
APP	Approval of Reserved Matters
CLE	Cert of Lawfulness of exist use/develop
CLP	Cert of Lawfulness of prop use/develop
CM	County Matters
FUL	Full Application
LBC	Listed Building Consent
OUT	Outline Application
PIP	Planning in Principle
TPO	Tree Preservation Order

National Planning Policy

National Planning Policy Framework (NPPF)

Planning Practice Guidance

The Gloucester, Cheltenham & Tewkesbury Joint Core Strategy; 2017 (JCS)

Tewkesbury Borough Local Plan to 2011

The Cotswold AONB Management Plan

INDEX TO PLANNING SCHEDULE (RECOMMENDATIONS) 17th September 2019

Parish and Reference	Address	Recommendation	Item/page number
Bishops Cleeve 19/00688/FUL Click Here To View	35 Church Road Bishops Cleeve Cheltenham Gloucestershire	Permit	5/311
Down Hatherley 18/00825/FUL Click Here To View	Woodfold Court Down Hatherley Lane Down Hatherley Gloucester	Delegated Permit	6/315
Tewkesbury 19/00615/FUL Click Here To View	6 Arundel Road Mitton Tewkesbury Gloucestershire	Permit	3/301
Twynning 19/00535/FUL Click Here To View	42 Hillview Lane Twynning Tewkesbury Gloucestershire	Permit	2/298
Wheatpieces 19/00627/APP Click Here To View	Land Adjacent To The John Moore Primary School Columbine Road Walton Cardiff Tewkesbury	Permit	4/305
Winchcombe 19/00424/FUL Click Here To View	1 Brook Close Winchcombe Cheltenham Gloucestershire	Permit	1/293

Valid 04.07.2019
Grid Ref 401778 227866
Parish Winchcombe
Ward Winchcombe

Erection of a single storey annexe with patio area

RECOMMENDATION Permit

Policies and Constraints

National Planning Policy Framework; 2019 (NPPF)
Planning Practice Guidance
The Gloucester, Cheltenham and Tewkesbury Joint Core Strategy; 2017 (JCS)
Tewkesbury Borough Local Plan to 2011; March 2006 (TBLP)
Winchcombe and Sudeley Neighbourhood Development Plan; 2017 (NDP)
Cotswolds AONB Management Plan 2018-2023
Flood and Water Management Supplementary Planning Document
Human Rights Act 1998 - Article 8 (Right to Respect for Private and Family Life)
The First Protocol, Article 1 (Protection of Property)
Cotswolds Area of Outstanding Natural Beauty (AONB).

Consultations and Representations

Winchcombe Town Council objected to the application as originally submitted, on the grounds of an over-development of the site. The Town Council requests that any approval of planning permission is subject to condition for the annex to remain ancillary to the principal dwelling.

Winchcombe Town Council was re-consulted on the revised plans and advised that its objection still stands with the original comments, as above.

The **Local Highway Authority** raises no objection.

Building Control Services advise that the application will require Building Regulations approval.

The application has been publicised through the posting of 3 site notices and the posting of neighbour notification letters to 7 nearby properties. No letters of representation have been received in the 21 day statutory consultation period or since.

Planning Officers Comments: Emma Dee

1.0 Application Site

1.1 No. 1 Brook Close is a detached two storey dwelling (plus garage at lower ground level) located on the south-western side of the highway (**See Location Plan**). It is designed predominantly with reconstituted stone facing materials, and some tile cladding, with a dual pitched roof covered in concrete tiles (**See Existing Elevations and Existing Floor Plans**). Land levels rise quite considerably from the north-eastern (front) boundary to the south-western (rear) boundary of the application site. The front elevation of the principal dwelling is located at a higher level than the adjacent highway and is accessed via an external set of steps, and land levels continue to rise within the rear garden area, which is approximately 15 metres long. There are no existing rear extensions nor outbuildings within the rear garden area. The south-eastern side boundary and the majority of the rear boundary of the application site back onto the rear garden areas of dwellings at nos. 39, 41, 43, 45 and 47 Cheltenham Road. The principal dwellings at these adjacent sites on Cheltenham Road are at a lower land level than the dwelling at no. 1 Brook Close.

1.2 The application site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB).

2.0 Relevant Planning History

2.1 None

3.0 Current Application

3.1 The application seeks planning permission for the erection of a single storey flat roofed building within the rear garden area of the application site to comprise an annexe (**See Proposed Elevations**). The applicant's agent has explained that the annexe would be constructed for an elder relative of the owner of the property, and that it would enable the owner of the property to care for this family member over the coming years and allow them to engage on a daily basis, whilst affording the privacy of both parties and supported independence of the elder relative. The proposed annexe would comprise a combined kitchen/living/dining room, 1 no. double bedroom and a bathroom (**See Proposed Ground Floor Plan**). The proposed building would be set back 3.55 metres from the rear elevation of the principal dwelling and, at its longest points, would measure 10 metres in length and 6 metres in width. As noted above, the land levels rise from north-east to south-west within the application site. The application therefore proposes to lower land levels to accommodate the proposed annexe building (**See 'Proposed Elevations - External Views' and 'Proposed Sections'**), and the submitted Proposed Ground Floor Plan shows that the finished floor levels of the existing dwelling and the proposed annexe would be the same. On its south-eastern side, the proposed building would measure 2.7 metres in height from immediately adjacent land levels.

3.2 The application originally proposed the erection of a single storey rear extension and a canopy link between the existing dwellinghouse and the proposed annexe (**See Originally Submitted Proposed Elevations and Floor Plans - Superseded**). However, further to the receipt of the original objection from Winchcombe Town Council, both elements were omitted from the application. The revised plans also show the annexe flat roof reduced in height (from 3.1 metres as originally proposed, to 2.7 metres) and the use of stone on the external north-western elevation in place of the originally proposed larch cladding. All other elevations are proposed to have render facing materials, as originally proposed.

4.0 Policy Context:

4.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations.

4.2 The adopted Development Plan for Tewkesbury Borough comprises the Joint Core Strategy 2011 to 2031 (JCS) and the saved policies of the Tewkesbury Borough Local Plan to 2011 (TBLP). In the case of this application, the Adopted Winchcombe and Sudeley Neighbourhood Development Plan 2011 - 2031 (NDP) also forms part of the Development Plan. The Council is also in the process of carrying out a review of the Local Plan. The Tewkesbury Borough Local Plan 2011-2031 Pre-Submission Version (2019) (TBPPSV) is at an early stage in the plan-making process and was subject to consultation between 10 October 2018 and 26 November 2018. The Council has now approved the pre-submission draft. Therefore at least moderate weight can be attached to policies in the Plan at this time. Other material policy considerations include the Cotswolds AONB Management Plan and National Planning Guidance contained within the National Planning Policy Framework; 2019 (NPPF).

4.3 The relevant policies of the adopted and emerging development plan are set out in the appropriate sections of this report.

5.0 Analysis

Principle of Development:

5.1 Whilst the proposed annexe would comprise a bedroom, a bathroom and a combined kitchen/living/dining room, the application confirms that this would be constructed for an elder relative of the owner of the property, and that it would enable the owner of the property to care for this family member over the coming years and allow them to engage on a daily basis, whilst affording the privacy of both parties and supported independence of the elder relative. The proposed annexe would be located to the rear of the principal dwelling at 1 Brook Close, and it would not be provided with any separate parking or residential garden area. It is considered that the application has demonstrated that this would be used for purposes ancillary to the principal dwelling only; not as a self-contained independent dwelling. The principal of the proposed annexe is judged to be acceptable.

Design and Impact on Character and Appearance of Area:

5.2 Section 12 of the NPPF relates to "Achieving well-designed places" and at paragraph 127 specifies that planning policies and decisions should ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development, are visually attractive as a result of good architecture, layout and appropriate and effective landscaping, and are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities). In this regard, Policy SD4 of the JCS and policies 1.1 and 5.1 of the Winchcombe and Sudeley NDP are also relevant.

5.3 Saved Policy HOU8 of the TBLP requires extensions to existing dwellings to respect the character, scale and proportion of the existing or, where appropriate, the original dwelling, the detailed design to reflect or complement the design and materials of the existing dwelling, and for the proposal to respect the character and appearance of surrounding development. In this regard, Policy 5.5 of the Winchcombe and Sudeley NDP is relevant, which relates to extensions and alterations to existing buildings. Whilst the proposed annexe would not be attached to the existing dwelling, it would be in close proximity of the existing dwelling within its residential garden area, and the principles of these policies are relevant.

5.4 The proposed annexe building would predominantly be screened from view from public vantage points by the existing dwelling at 1 Brook Close and adjacent dwellings on Cheltenham Road. The use of stone on the external north-western elevation is considered to be sympathetic to the existing dwelling. Whilst the use of white render on the other elevations of the building would not be in-keeping with facing materials which are characteristic of buildings in this part of Winchcombe, by virtue of the location of the proposed building, to the rear of the existing dwelling and predominantly screened from view from public vantage points, it is considered that the use of render would be acceptable in this instance.

5.5 It is considered that the design of the proposed annexe building would be sympathetic in scale and form to the original dwelling, and would appear ancillary to it, and would not unreasonably detract from the open space within the rear garden area of 1 Brook Close.

5.6 It is acknowledged that Policy 5.5 of the Winchcombe and Sudeley NDP specifies that new roofs on extensions to existing dwellings are to be pitched unless this is out of character with the existing roofscape of the immediate area, or where a flat roof would complement or enhance the character of the original or nearby building. As noted above, the proposed annexe would not be attached to the existing dwelling. It is considered that the flat roof proposed in this instance would assist in the proposed annexe building appearing ancillary to the principal dwelling, and would also reduce the massing of the building relative to a pitched roof and any consequential impact on adjoining occupiers in terms of overshadowing or overbearing impact. Therefore, in this instance, the proposed flat roofed design is considered to be acceptable.

Landscape Impact:

5.7 Section 15 of the NPPF relates to "Conserving and enhancing the natural environment" and, at paragraph 170, specifies that planning decisions should contribute to and enhance the natural and local environment by recognising the intrinsic character and beauty of the countryside, and protecting and enhancing valued landscapes. Policy SD6 of the JCS specifies that development will seek to protect landscape character for its own intrinsic beauty and for its benefit to economic, environmental and social well-being. It also states that all applications for development will consider the landscape and visual sensitivity of the area in which they are to be located or which they may affect.

5.8 Paragraph 172 of the NPPF specifies that great weight should be given to conserving and enhancing landscape and scenic beauty in AONBs which, along with National Parks and the Broads, have the highest status of protection in relation to these issues. Policy SD7 of the JCS specifies that all development proposals in or within the setting of the Cotswolds AONB will be required to conserve and, where appropriate, enhance its landscape, scenic beauty, wildlife, cultural heritage and other special qualities. In this regard, policy 1.1 of the Winchcombe and Sudeley NDP and policy CE1 of the Cotswolds AONB Management Plan are also relevant.

5.9 The proposed development would be viewed in the context of the existing built development within the application site and adjacent residential sites. As a result, it is considered that the proposal would protect the landscape character of the area and would conserve the landscape and scenic beauty of the AONB.

Impact on Residential Amenity:

5.10 Paragraph 127 of the NPPF specifies that planning decisions should ensure that developments create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users. Saved policy HOU8 of the TBLP specifies that extensions to existing dwellings will be permitted provided that, inter alia, the proposal does not have an unacceptable impact on adjacent property and the protection of residential amenity, in terms of bulk, massing, size and overlooking.

5.11 In terms of 'Amenity and Space' Policy SD4 of the JCS sets out that new development should enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space, and the avoidance or mitigation of potential disturbances, including visual intrusion, noise, smell and pollution. Policy SD14 of the JCS, which relates to 'Health and Environmental Quality', specifies that new development must cause no unacceptable harm to local amenity including the amenity of neighbouring occupants. In this regard, policy 5.1 of the Winchcombe and Sudeley NDP is also relevant.

5.12 The proposed annexe building would be located towards the south-eastern side of the rear garden area, which backs onto the rear garden areas of dwellings at nos. 39, 41, 43, 45 and 47 Cheltenham Road. As noted above, the principal dwellings at these adjacent sites on Cheltenham Road are at a lower land level than the dwelling at no. 1 Brook Close. The proposed annexe would have the same finished floor level as the existing dwelling, as it is proposed to lower land levels to accommodate it. The submitted External Views drawing shows the scale of the proposed building relative to the height of existing fencing along the boundaries of the rear garden area. The biggest difference in height would be towards the front of the proposed annexe building, where its height would exceed the height of fencing in this location by 1.3 metres. The proposed annexe building would be located slightly closer to this boundary of the application site than the existing dwelling, but would be considerably smaller than the existing dwelling in terms of its height and its massing. In this context, it is considered that the proposed development would not unreasonably affect the amenity of adjoining occupiers in terms of overshadowing or overbearing impact.

5.13 No fenestration is proposed for installation on the south-eastern elevation of the proposed annexe building, and it is recommended that any approval of planning permission is subject to a restrictive condition pertaining to the installation of any windows in this elevation, in order to protect the residential amenity of adjoining occupiers at Cheltenham Road in terms of privacy. The fenestration proposed for installation on the other elevations of the building would not directly overlook adjacent dwellings. Further, the application proposes the retention of existing fencing on all boundaries of the rear garden area of 1 Brook Close, which would provide some extent of screening. It is therefore considered that the proposed development would not adversely affect the residential amenity of adjoining occupiers in terms of loss of privacy.

5.14 It is considered that the proposed residential annex would provide an acceptable living environment for future occupiers, given its proposed use as an annexe to the principal dwelling at 1 Brook Close, accommodating an elder relative of the owner of the property. The proposed annexe would not be provided with any separate parking or residential garden area; these would be shared with the existing dwelling. It is recommended that any approval of planning permission is subject to condition that the development shall not be occupied at any time other than for purposes ancillary to the residential use of the dwelling known as 1 Brook Close, and shall not be occupied as an independent dwelling unit, on the grounds that the accommodation is not capable of independent occupation without adverse impact on the amenities of existing or future residential occupiers.

Highways Impact:

5.15 Section 9 of the NPPF relates to "Promoting sustainable transport" and, at paragraph 108, specifies that, in assessing specific applications for development, it should be ensured that safe and suitable access to the site can be achieved for all users. Paragraph 109 specifies that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe. In this regard, Policy INF1 (Transport Network) of the JCS is also relevant, as is Policy 5.2 of the Winchcombe and Sudeley NDP which specifies that the provision of off-street parking areas as part of development proposals, to minimise additional on-street parking, is supported.

5.16 The residential annexe would be used for purposes ancillary to the principal dwelling, accommodating an elder relative of the owner of the property. It is not proposed to be used as an additional independent dwelling in its own right. The application proposes the retention of existing parking, including the garage.

5.17 The Local Highway Authority has been consulted on the application and raises no objection. It is considered that the development would not result in an unacceptable impact on highway safety, nor that the residual cumulative impacts on the road network would be severe.

6.0 Summary

6.1 Taking into account all of the above, the proposal is considered to be acceptable and in accordance with the relevant policies, and it is therefore recommended that **planning permission is granted subject to conditions.**

RECOMMENDATION Permit

Conditions:

- 1 The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
- 2 The development hereby permitted shall be carried out in accordance with the Site Location Plan and Block Plan received by the Local Planning Authority on 4th July 2019, approved drawing nos. "1193_A_02_PL_09" (Proposed Ground Floor Plan), "1193_A_02_PL_10" (Proposed First Floor Plan), "1193_A_02_PL_11" (Proposed Elevations), "1193_A_02_PL_12" (Proposed Elevation 2) "1193_A_02_PL_14" (Proposed Sections 2) and "1193_A_02_PL_19" (Proposed Elevations - External Views) received by the Local Planning Authority on 30th July 2019, and any other conditions attached to this permission.
- 3 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no windows or openings shall be formed in the south-eastern elevation of the annexe hereby permitted at any time unless a further planning permission has been granted.
- 4 The development hereby permitted shall not be occupied at any time other than for purposes ancillary to the residential use of the dwelling known as 1 Brook Close, Winchcombe, and shall not be occupied as an independent dwelling unit.

Reasons:

- 1 To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 To ensure that the development is carried out in accordance with the approved plans.
- 3 To safeguard the amenities of adjoining occupiers from overlooking and loss of privacy.
- 4 The accommodation hereby approved is not capable of independent occupation without adverse impact on the amenities of existing or future residential occupiers.

Notes:

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- 1 **Statement of Positive and Proactive Engagement**

In accordance with the requirements of the National Planning Policy Framework (2019) the Local Planning Authority has sought to determine the application in a positive and proactive manner offering pre-application advice, detailed published guidance to assist the applicant and published to the council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.
 - 2 This permission does not imply any rights of entry to any adjoining property nor does it imply that the development may extend into or project over or under any adjoining boundary.



Location 1 Brook Close

1:1250

297/A

Notes
This drawing could be used in conjunction with all relevant specifications and other specialist drawings.

NOT FOR
CONSTRUCTION

Revision History	Change Notes	Change Date	Change By
1.0	Initial Release	10/1/2010	John Doe
1.1	Added new section on safety	10/15/2010	John Doe
1.2	Revised safety section	10/20/2010	John Doe
1.3	Added new section on maintenance	11/1/2010	John Doe
1.4	Revised maintenance section	11/15/2010	John Doe
1.5	Added new section on troubleshooting	11/20/2010	John Doe
1.6	Revised troubleshooting section	12/1/2010	John Doe
1.7	Added new section on warranty	12/15/2010	John Doe
1.8	Revised warranty section	12/20/2010	John Doe
1.9	Added new section on contact information	1/1/2011	John Doe
1.10	Revised contact information section	1/15/2011	John Doe
1.11	Added new section on product specifications	1/20/2011	John Doe
1.12	Revised product specifications section	2/1/2011	John Doe
1.13	Added new section on product features	2/15/2011	John Doe
1.14	Revised product features section	2/20/2011	John Doe
1.15	Added new section on product benefits	3/1/2011	John Doe
1.16	Revised product benefits section	3/15/2011	John Doe
1.17	Added new section on product limitations	3/20/2011	John Doe
1.18	Revised product limitations section	4/1/2011	John Doe
1.19	Added new section on product compatibility	4/15/2011	John Doe
1.20	Revised product compatibility section	4/20/2011	John Doe
1.21	Added new section on product availability	5/1/2011	John Doe
1.22	Revised product availability section	5/15/2011	John Doe
1.23	Added new section on product pricing	5/20/2011	John Doe
1.24	Revised product pricing section	6/1/2011	John Doe
1.25	Added new section on product support	6/15/2011	John Doe
1.26	Revised product support section	6/20/2011	John Doe
1.27	Added new section on product training	7/1/2011	John Doe
1.28	Revised product training section	7/15/2011	John Doe
1.29	Added new section on product documentation	7/20/2011	John Doe
1.30	Revised product documentation section	8/1/2011	John Doe
1.31	Added new section on product updates	8/15/2011	John Doe
1.32	Revised product updates section	8/20/2011	John Doe
1.33	Added new section on product security	9/1/2011	John Doe
1.34	Revised product security section	9/15/2011	John Doe
1.35	Added new section on product privacy	9/20/2011	John Doe
1.36	Revised product privacy section	10/1/2011	John Doe
1.37	Added new section on product accessibility	10/15/2011	John Doe
1.38	Revised product accessibility section	10/20/2011	John Doe
1.39	Added new section on product sustainability	11/1/2011	John Doe
1.40	Revised product sustainability section	11/15/2011	John Doe
1.41	Added new section on product social media	11/20/2011	John Doe
1.42	Revised product social media section	12/1/2011	John Doe
1.43	Added new section on product community	12/15/2011	John Doe
1.44	Revised product community section	12/20/2011	John Doe
1.45	Added new section on product partnerships	1/1/2012	John Doe
1.46	Revised product partnerships section	1/15/2012	John Doe
1.47	Added new section on product collaborations	1/20/2012	John Doe
1.48	Revised product collaborations section	2/1/2012	John Doe
1.49	Added new section on product endorsements	2/15/2012	John Doe
1.50	Revised product endorsements section	2/20/2012	John Doe
1.51	Added new section on product testimonials	3/1/2012	John Doe
1.52	Revised product testimonials section	3/15/2012	John Doe
1.53	Added new section on product reviews	3/20/2012	John Doe
1.54	Revised product reviews section	4/1/2012	John Doe
1.55	Added new section on product ratings	4/15/2012	John Doe
1.56	Revised product ratings section	4/20/2012	John Doe
1.57	Added new section on product awards	5/1/2012	John Doe
1.58	Revised product awards section	5/15/2012	John Doe
1.59	Added new section on product accolades	5/20/2012	John Doe
1.60	Revised product accolades section	6/1/2012	John Doe
1.61	Added new section on product recognition	6/15/2012	John Doe
1.62	Revised product recognition section	6/20/2012	John Doe
1.63	Added new section on product honors	7/1/2012	John Doe
1.64	Revised product honors section	7/15/2012	John Doe
1.65	Added new section on product achievements	7/20/2012	John Doe
1.66	Revised product achievements section	8/1/2012	John Doe
1.67	Added new section on product milestones	8/15/2012	John Doe
1.68	Revised product milestones section	8/20/2012	John Doe
1.69	Added new section on product anniversaries	9/1/2012	John Doe
1.70	Revised product anniversaries section	9/15/2012	John Doe
1.71	Added new section on product birthdays	9/20/2012	John Doe
1.72	Revised product birthdays section	10/1/2012	John Doe
1.73	Added new section on product celebrations	10/15/2012	John Doe
1.74	Revised product celebrations section	10/20/2012	John Doe
1.75	Added new section on product events	11/1/2012	John Doe
1.76	Revised product events section	11/15/2012	John Doe
1.77	Added new section on product conferences	11/20/2012	John Doe
1.78	Revised product conferences section	12/1/2012	

Hoch-Bau Architecture

LONDON CHETENISHA

GAINSBROUGH HOUSE
2 SHEPPARD
RICHMOND
TW9 1AE

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43-11670-2

— 22 —

1 BROOK CLOSE

ANNEXE AND EXTENSION

240 Address
1 BROOK CLONE
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CLSA 5801

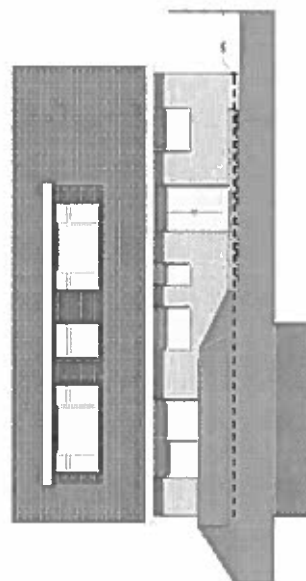
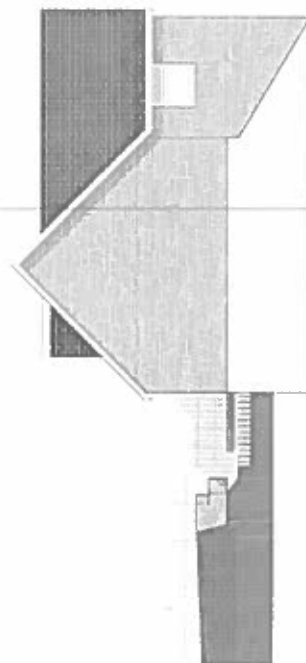
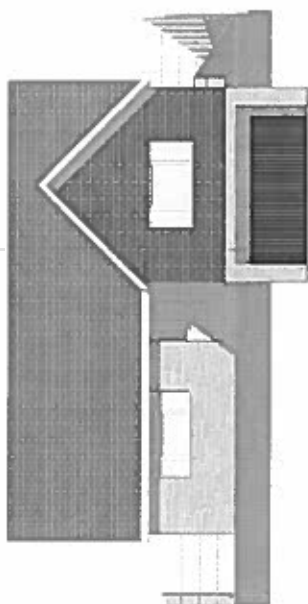
Country Culture:

EXISTING ELEVATIONS

CONCEPT DESIGN

Ag. Approved by	Date
Ag. Approved by	04/03/2019

1:100 @ A2



297/B

Fig and Dimensions are to be taken from the drawing.
All dimensions are to be checked on site before any
work is put in hand.
8 in detail only.
Notes
This drawing shall be used in conjunction with all
relevant specifications and other relevant drawings.

NOT FOR
CONSTRUCTION

Revision History
Rev. No. Description
Rev. No. Description

Hoch-Bau Architecture
LONDON - CHELTENHAM

GARIBOLD HOUSE
2 SHELL ROAD
RECHARD
TQ3 1AE
Tel: 01841 7759
Email: h.bau@hochbau.co.uk

1 Brook Close
Cheltenham
GL54 5W

Job No. 1 BROOK CLOSE

ANNEXE AND EXTENSION

Site Address
1 BROOK CLOSE
Cheltenham
GL54 5W

Drawing Name

EXISTING GROUND FLOOR PLAN

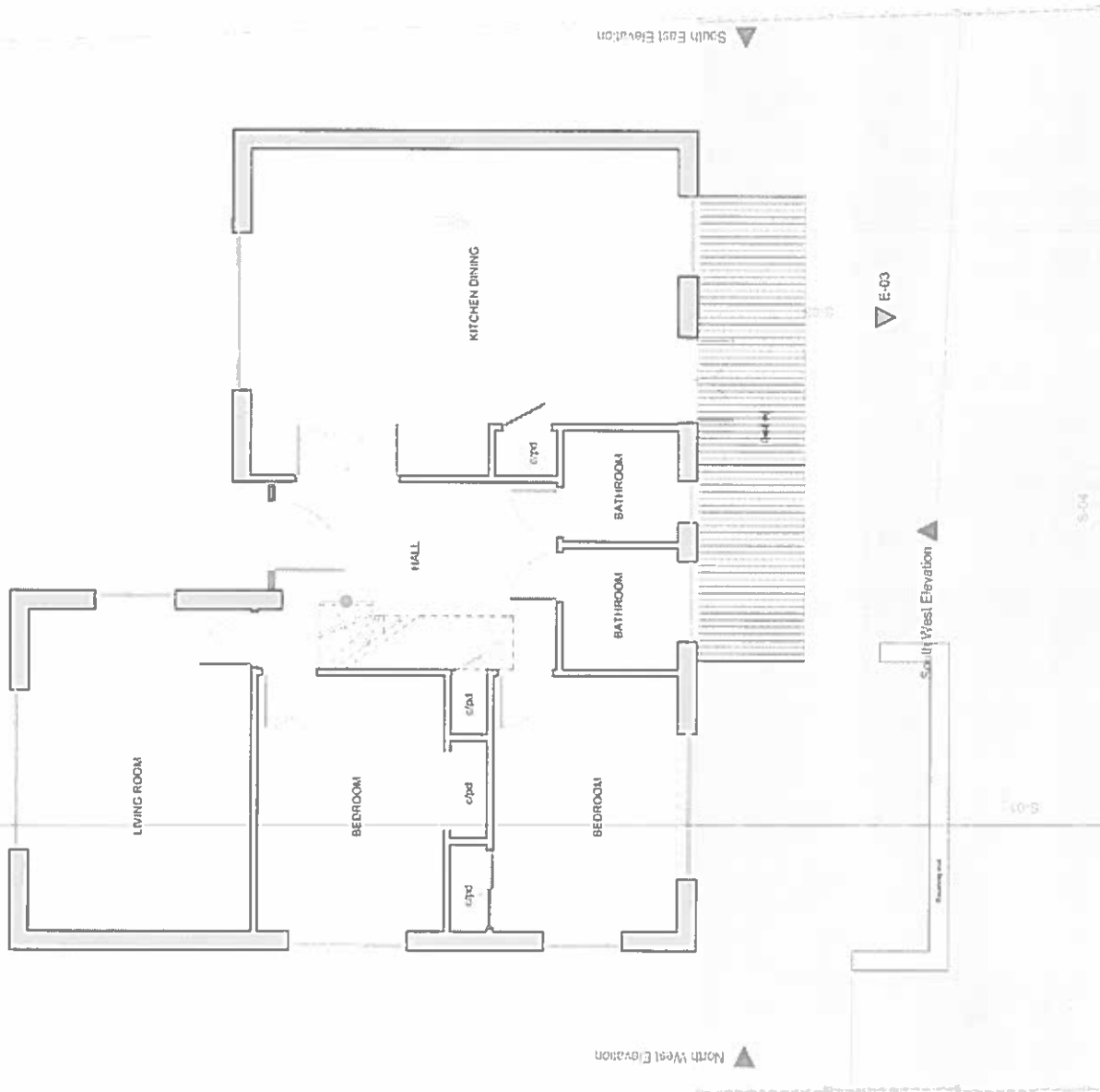
Drawing Status
CONCEPT DESIGN

Drawn by
TEB
Date
04/03/2014

Checked by
TM
Date

Drawing Scale
1:50 @ A2

Project ID
1193_A_02_PL_01
Drawing Office
Cheltenham



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All dimensions are to be checked on the before any
work is started.

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NOT FOR
CONSTRUCTION

Revision History

and 1200-1300 hours

1334

Hoch-Bau Architecture
LONDON · CHELTENHAM

3. **ANTHONY VICTORINO**

020411313

H.C.H.M.V.D.

Two 12.5%

Received 11 June 1997

Journal of Interpersonal Violence 26(10)

●カブト・甲斐

Chadwick

4366 P. 72

三

3 BROOK CLOSE

ANNEXE AND EXTENSION

See Address

1 Bedroom Close

Chetaniya

15550

Security Feature No.

EXISTING FIRST FLOOR PLAN

BY NANCY S. LARSEN

CONCEPT DESIGN

NAME _____

6102170-4

Dada

On April 5, 2007

150 @ A2

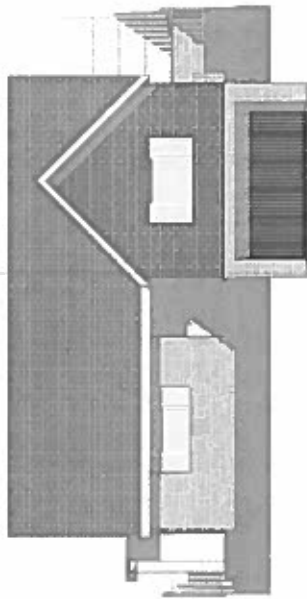
01/04/10

1193 A 02 PL 02
Huang Chien
Cheltenham

297/0

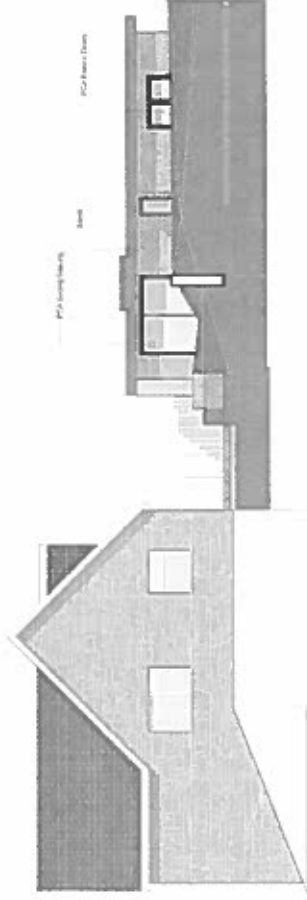
1. Printed Drawings are only to be taken from this drawing set.
All dimensions are to be checked on site before any work is started.
8 in double, 1/8 in.

11.01.15
This drawing is not to be used in conjunction with any other drawings without the written consent of the architect.



North East Elevation

1:100

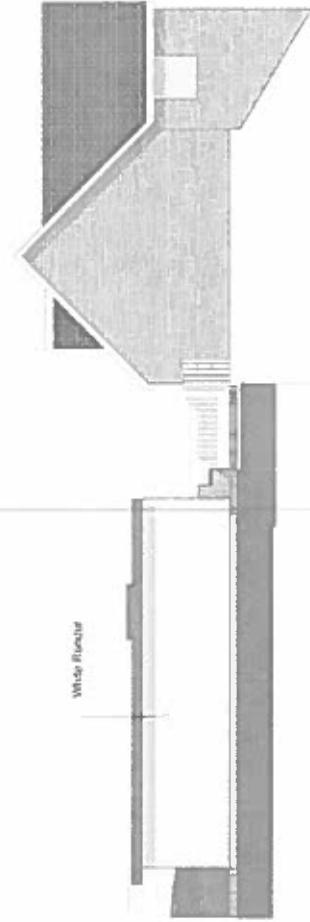


North West Elevation

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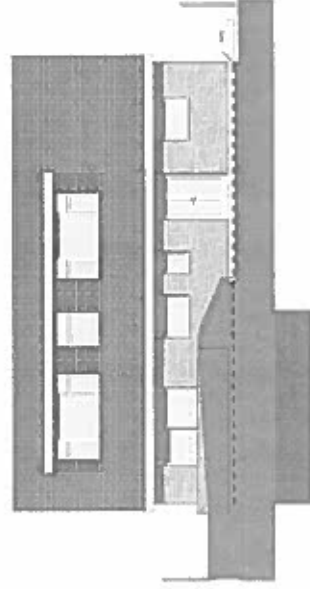
Hoch-Bau Architecture
LONDON - CHELTENHAM

GARSBOROUGH HOUSE
2 SHEEN ROAD
RICHMOND
TW9 1AE
M20 0781417000
email: hys@hochbau.co.uk



South East Elevation

1:100



South West Elevation

1:100

1 BROOK CLOSE

ANNEXE AND EXTENSION

Site Address
1 BROOK CLOSE
Cheltenham
GL54 5XU

Drawing Name

PROPOSED ELEVATIONS

Drawing Status

CONCEPT DESIGN

Drawn by
TBS
Checked by
TBS
Date
04.03.2019

Drawing Scale
1:100 @ A2

Project ID
1193_A_02_PL_11
Hoch-Bau
Cheltenham

297/6

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Approved by
Name: [Redacted]
Date: [Redacted]



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RECHMOND
TW9 3AE

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www.hochbau.co.uk

1 Brook Close
Cheltenham
GL54 5NF

1 BROOK CLOSE

ANNEXE AND EXTENSION

Site Address
1 BROOK CLOSE
Cheltenham
GL54 5NF

Drawn by

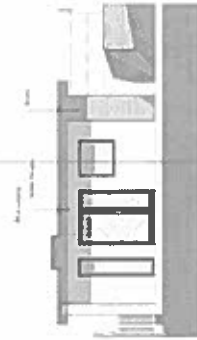
PROPOSED ELEVATION 2

Drawn by

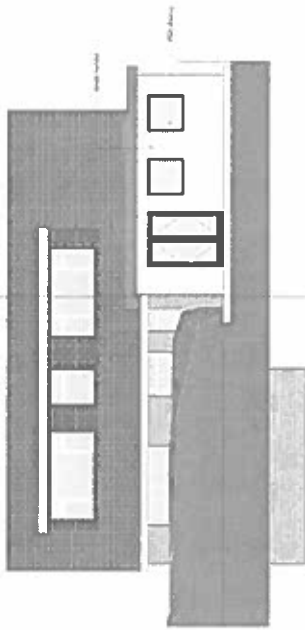
DATE

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T.E.B.
Checked by
T.M.
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1193_A_02_PL_12
Cheltenham

E-03
Elevation
1:100



E-01
Elevation
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297/F

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1193_A_02_PL_09

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Carmichael House
1193_A_02_PL_09
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1 BROOK CLOSE ANNEXE AND EXTENSION

1193_A_02_PL_09
1193_A_02_PL_09

PROPOSED GROUND FLOOR PLAN

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1193_A_02_PL_09

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297/G

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Respiratory History		Past Medical History	
Present Illness	History of Present Illness	Chronic Illnesses	Acute Illnesses
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Frequency: Daily		Chronic Illnesses: None	Acute Illnesses: None
Severity: Moderate		Chronic Illnesses: None	Acute Illnesses: None
Associated symptoms: Fever, chills, night sweats		Chronic Illnesses: None	Acute Illnesses: None
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Hoch-Bau Architecture
10004, Berlin, Germany

1000

1 BROOK CLOSE
ANNEXE AND EXTENSION

See also:
 • **Energy in C. mag.**
 • **Genetics**
 • **C. mag. today**

Business Center

2. MODELING SECTION 2

CONFIDENTIAL

110

And with

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1193 A 02 PL 14
Young Pines
Cheltenham

1193 A 02 PL 14
Young Pines
Cheltenham

Thus, therapy must be rooted in conjunction with all leaders and specialists and other specialists of meetings.

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CONSTRUCTION

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Hoch-Bau Architecture
LONDON · CHETTENHAM

GARIBOLDI HOUSE
22 SHEEN ROAD
RICHMOND
W7 3AE

07891417069
07891417069

CHIEF CLERK
CHIEF CLERK
CLERK

1 BROOK CLOSE

ANNEXÉ AND EXTENSION

2nd Address
1 BROOK CLOSE
Chesham
GL54 5BH

Dealing With

PROPOSED ELEVATIONS

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CONCEPT DESIGN

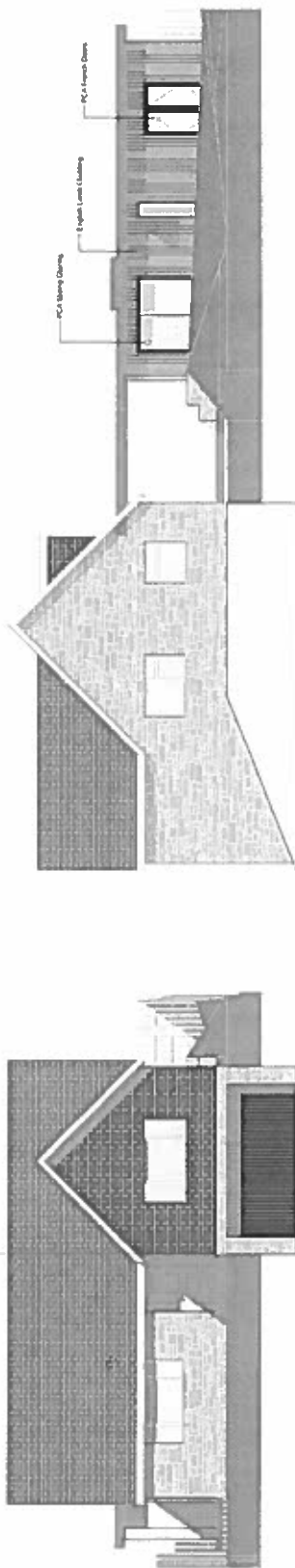
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Dr. Margaret C. White

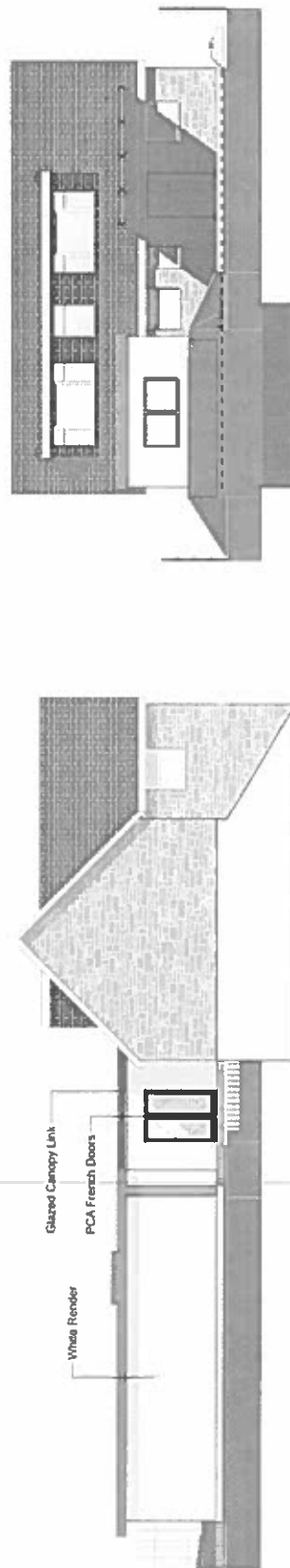
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167	840



North East Education

100



Submitted for Publication

South-West-Florida

1904

ORIGINALLY SUBMITTED PROPOSED ELEVATIONS - SUPERSEDED

297/5

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Notes

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Revision History

Rev	Description	Date
1	Initial Design	10/10/2019
2	Revised Design	11/10/2019
3	Final Design	12/10/2019
4	Revised Design	13/10/2019
5	Final Design	14/10/2019
6	Revised Design	15/10/2019
7	Final Design	16/10/2019
8	Revised Design	17/10/2019
9	Final Design	18/10/2019
10	Revised Design	19/10/2019
11	Final Design	20/10/2019
12	Revised Design	21/10/2019
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23	Final Design	01/11/2019
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79	Final Design	27/12/2019
80	Revised Design	28/12/2019
81	Final Design	29/12/2019
82	Revised Design	30/12/2019
83	Final Design	31/12/2019

Hoch-Bau Architecture

STOCKEN, CHESHIRE

Hoch-Bau Architecture Name
Company Name
100 High Street
Stocken, Cheshire
CH16 1HE
Architect's Name
Architect's Title
Architect's Address
Architect's Phone
Architect's Email
Architect's Website

1 BROOK CLOSE
ANNEXE AND EXTENSION

Annex Address
Annex Name
Annex Address
Annex Phone
Annex Email
Annex Website

PROPOSED GROUND FLOOR
PLAN

CONCEPT DESIGN

Scale of Plan

Scale of Plan

Scale of Plan

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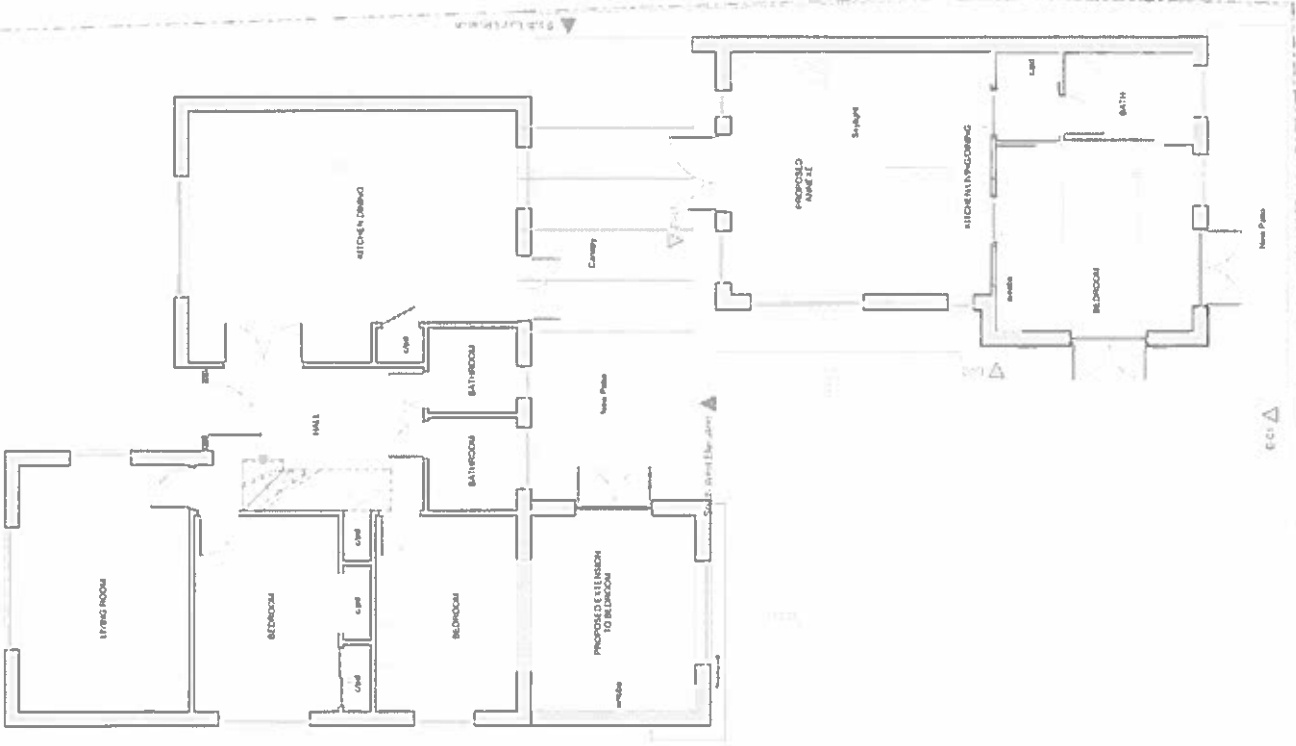
Scale of Plan

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ORIGINALLY
SUBMITTED
PROPOSED
FLOOR PLAN -
SUPERSEDED



297/L

Valid 27.05.2019

Planning application for a loft conversion with rear box dormer style extension

Grid Ref 390053 237117

Parish Twynning

Ward Twynning

RECOMMENDATION Permit**Policies and Constraints**

National Planning Policy Framework 2018 (NPPF)

Planning Practice Guidance

The Gloucester, Cheltenham and Tewkesbury Joint Core Strategy 2017 (JCS): Policies SD4

Tewkesbury Borough Local Plan to 2011, March 20016 (TBLP): Policies HOU8

Human Rights Act 1998 - Article 8 (Right to Respect for Private and Family Life)

The First Protocol Article 1 (Protection of Property)

Consultations and Representations**Parish Council** - Objection due to overlooking concerns from full length windows.**Members of the public** - The application has been publicised through the posting of site notices for both the original and amended plans. Seven letters of objection have been received in total which raise concerns about the impact of the development on adjoining neighbours, loss of light and loss of privacy.**Planning Officers Comments:** Alice Goodall**1.0 Application Site**

1.1 The site is located in Twynning, within a suburban residential area. It is a semi-detached bungalow, bounded by other residential properties.

The application is for a dormer window on the rear elevation.

2.0 Current Application

2.1 This application seeks permission for a roof extension (box dormer) located on the rear (south) elevation. It would extend just within the width of the roofplane and just below the existing ridge height.

3.0 Relevant Planning History

3.1 None

4.0 Policy Context:

4.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations.

4.2 The adopted Development Plan for Tewkesbury Borough comprises the Joint Core Strategy 2011 to 2031 (JCS) and the saved policies of the Tewkesbury Borough Local Plan to 2011 (TBLP). The Council is also in the process of carrying out a review of the Local Plan. The Tewkesbury Borough Local Plan 2011-2031 Pre-Submission Version (2019) (TBPPSV) is at an early stage in the plan-making process and was subject to consultation between 10 October 2018 and 26 November 2018. The Council has now approved the pre-submission draft. Therefore at least moderate weight can be attached to policies in the Plan at this time. Other material policy considerations include the National Planning Policy Framework; 2019 (NPPF).

4.3 The relevant policies of the adopted and emerging development plan are set out in the appropriate sections of this report.

5.0 Analysis

5.1 The main issues to consider when determining this application relate to:

- Design and impact on character and appearance
- Impact on Residential Amenity

Design and Impact on Character and Appearance:

5.2 Section 12 of the NPPF relates to "Achieving well-designed places" and at paragraph 127 specifies that planning policies and decisions should ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development, are visually attractive as a result of good architecture, layout and appropriate and effective landscaping, and are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities). In this regard, Policy SD4 of the JCS is relevant.

5.3 Saved Policy HOU8 of the TBLP requires extensions to existing dwellings to respect the character, scale and proportion of the existing or, where appropriate, the original dwelling, the detailed design to reflect or complement the design and materials of the existing dwelling, and for the proposal to respect the character and appearance of surrounding development.

5.4 The proposed dormer window is large in scale and occupies almost the entire rear roof plane of the dwelling. It would have two full height windows with a timber infill panel between, a dark grey feature fascia profile and the remainder would be clad in dark grey, wood effect vertical cladding. The plans have been amended as part of the application process to reduce the projection of the dormer window, bringing it back in line with the existing dwelling. This brings the roof extension almost in line with what would be permitted under permitted development rights.

5.5 It is considered that the proposed modern materials are of good quality and would compliment the appearance of the existing dwelling.

Therefore there is no detrimental impact on the character and appearance of the dwelling. The proposed extension would be visible from a public footpath which runs to the east of the dwelling, however there are many similar sized dormer windows on surrounding properties. It is considered that this proposal would not be out of character with the area.

Impact on Residential Amenity:

5.6 Paragraph 127 of the NPPF specifies that planning decisions should ensure that developments create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users. Saved policy HOU8 of the TBLP specifies that extensions to existing dwellings will be permitted provided that, inter alia, the proposal does not have an unacceptable impact on adjacent property and the protection of residential amenity, in terms of bulk, massing, size and overlooking.

5.7 In terms of 'Amenity and Space' Policy SD4 of the JCS sets out that new development should enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space, and the avoidance or mitigation of potential disturbances, including visual intrusion, noise, smell and pollution. Policy SD14 of the JCS, which relates to 'Health and Environmental Quality', specifies that new development must cause no unacceptable harm to local amenity including the amenity of neighbouring occupants.

5.8 The proposed windows in the extension would be full height and objections have been received from the Parish Council and local residents regarding loss of privacy of adjoining neighbours. Whilst no windows currently exist at first floor level the properties to the rear are approximately 30 metres from the application property, which is beyond the normally accepted separation distance of 21 metres. Views into the gardens of properties either side of the application site would be oblique and therefore there would be no direct overlooking. It is therefore considered that there would not be any significant detrimental impact on neighbouring properties by reason of loss of privacy from overlooking.

5.9 Local residents have also raised concerns about a loss of light due to the scale of the dormer window. As the dormer would be within the existing roof plane, which aligns with both dwellings either side and the rear aspect is south facing it would not cast a shadow on any neighbouring windows or rear amenity areas. It is therefore considered that there would be no unacceptable loss of light to neighbouring properties.

5.0 Conclusion

5.1 Overall the proposal is considered to be acceptable in terms of design and its impact on the character and appearance of the dwelling/ wider area and on the amenity of neighbouring occupiers, in accordance with JCS Policy SD4 and TBLP Policy HOU8. It is therefore recommended that permission be granted with conditions.

RECOMMENDATION Permit

Conditions:

- 1 The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
- 2 The development hereby permitted shall be carried out in accordance with the approved plans, received by the local planning authority on the 11/07/19.
- 3 Notwithstanding the approved plans, no cladding of the external planes of the development shall commence until a sample of the cladding (grey faux timber cladding and timber cladding) proposed to be used to clad the external planes have been submitted to and approved in writing by the Local Planning Authority. All materials used shall conform to the samples so approved.

Reasons:

- 1 To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 For the avoidance of doubt and in the interests of proper planning.
- 3 To ensure a satisfactory development that would respect the character and appearance of the area.

Notes:

1 Statement of Positive and Proactive Engagement

In accordance with the requirements of the NPPF the Local Planning Authority has worked with the applicant in a positive and proactive manner in order to secure sustainable development which will improve the economic, social and environmental conditions of the area by negotiating amendments to the material and external colour of the proposal.



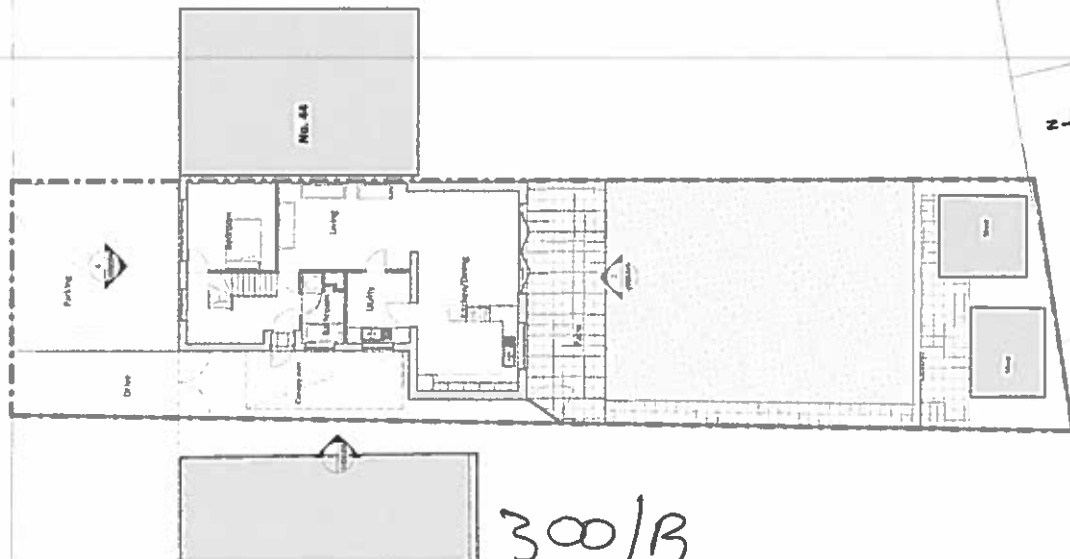
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drawing number	(00)001	date:	27/05/019
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LEWIS CRITCHLEY ARCHITECTS

tel 07769642827
 e lmo@lewiscritchleyarchitects.co.uk

300/A

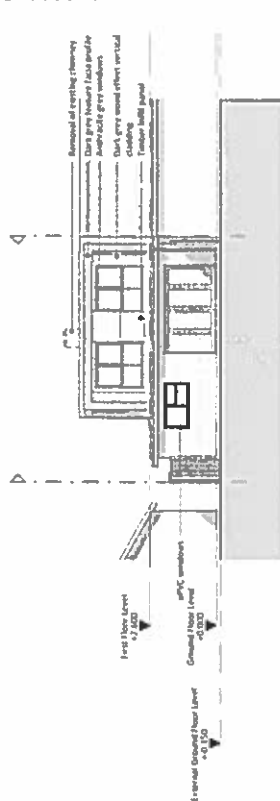
INTERVIEW



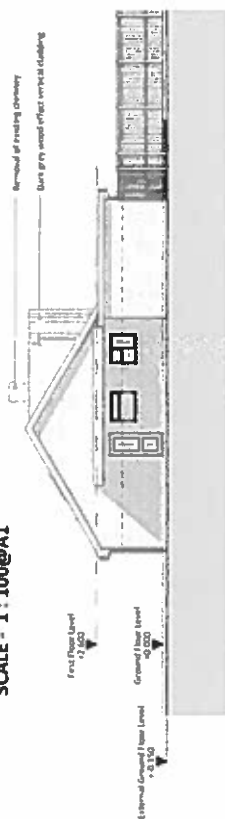
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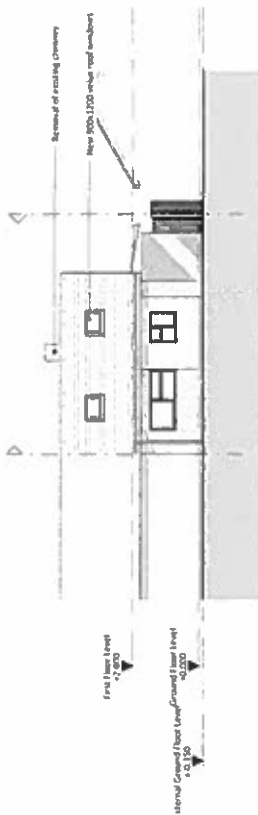
5. Proposed First Floor Plan
SCALE - 1 : 100@A1



2. Proposed Rear Elevation
SCALE - 1:100@A1



3. Proposed Side Elevation
SCALE - 1 : 100@A1



4. Proposed Front Elevation
SCALE - 1:100@A1



Proposed Perspective View 1



Proposed Perspective View 2

Rev.	By	Comments	Date
A 10/07/2019			
19			

[illegible]

PLANNING SUBMISSION

Chen's Research

Job Title: 4.2 Midwestern Lane Training Technology

Graveling, The

Proposed Plant & Elevations

100

Organic: LMC

Order#: LMC
 Scale: A1: 1:100 Date: 27/05/2019
 Drawing No: 100/004 Rev: A

Valid 14.06.2019

Erection of a single storey front and rear and a two storey side and rear extension. Replace tile hung wall areas with render.

Grid Ref 390165 233696

Parish Tewkesbury

Ward Tewkesbury Town With

Mitton

RECOMMENDATION Permit**Policies and Constraints**

National Planning Policy Framework; 2018 (NPPF)

Planning Practice Guidance

The Gloucester, Cheltenham and Tewkesbury Joint Core Strategy; 2017 (JCS)

Tewkesbury Borough Local Plan to 2011; March 2006 (TBLP)

Flood and Water Management Supplementary Planning Document

Human Rights Act 1998 - Article 8 (Right to Respect for Private and Family Life)

The First Protocol, Article 1 (Protection of Property)

Consultations and Representations**Tewkesbury Town Council** - No Objection.**Local residents** - No letters of representation have been received.**Planning Officers Comments:** Emily Pugh**1.0 Application Site**

1.1 This application relates to 6 Arundel Road, a detached brick built property located in a residential estate comprised of dwelling varying in form and appearance - many of which have been extended or altered.

1.2 The site is not affected by any restrictive landscape designations. **see site location plan.**

2.0 Relevant Planning History

2.1 Permission was granted under reference 77/04764/FUL for "Extension to existing dwelling house to provide a conservatory".

3.0 Current Application

3.1 The current application seeks planning permission for the erection of a two storey dual pitched side and rear extension, as well as a single storey mono-pitched extension to the front, and single storey flat roofed extension to the rear.

3.2 The extensions would be constructed using facing red brick with render to replace the existing tile hung cladding, with concrete interlocking roof tiles and UPVC doors and windows. **see attached plans for all details.**

4.0 Policy Context

4.1 The determination of a planning application is to be made pursuant to Section 38(6) of the Planning and Compulsory Purchase Act 2004, which is to be read in conjunction with section 70(2) of The Town and Country Planning Act 1990. Section 38(6) requires the local planning authority to determine planning applications in accordance with the development plan, unless there are material circumstances which "indicate otherwise". Section 70(2) provides that in determining applications the local planning authority "shall have regard to the provisions of the Development Plan, so far as material to the application and to any other materials considerations."

4.2 The development plan comprises the Joint Core Strategy (JCS) (2017) and saved policies in the Tewkesbury Borough Local Plan to 2011 (March 2006) (TBLP).

4.3 Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2018.

4.4 The relevant policies are set out in the appropriate sections of this report.

5.0 Analysis

5.1 The main issues to be considered are design and impact to neighbouring amenity.

Design

5.2 Section 12 of the NPPF relates to "Achieving well-designed places" and, Paragraph 124, sets out that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve, and that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Likewise, Paragraph 127 specifies that planning policies and decisions should ensure that developments, inter alia: will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping, and; are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.

5.3 In this regard, Policy SD4 (Design Requirements) of the JCS and likewise Policy HOU8 of the TBLP sets out that new development should respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness, and addressing the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting. It further sets out that design should establish a strong sense of place using streetscapes and buildings to create attractive and comfortable places to live, and having appropriate regard to the historic environment.

5.4 The host dwelling is a 1970's detached brick build with front facing tile hung cladding. The dwelling currently has an attached flat roofed garage with a generous front driveway and rear garden. The dwelling is located on a gradually inclining slope and as such the relationship with the neighbours is slightly terraced with a fairly consistent building line.

5.5 The proposal seeks to demolish the attached garage to the side and replace it with a two storey extension. The extension would match the ridge height of the dwelling and sit flush with the existing façade. It would not project all the way up to the property boundary, leaving an amenity gap of 1m. Not only does the serve the dwelling in terms of its own amenity but it also serves as a visual break preventing any harmful terracing effects.

5.6 To the rear, the extensions would comprise a rear gable, projecting 1m to the rear and down from the ridge height by 0.6m. Although the width of the gable 6.4m wide, it corresponds with the existing dwelling gable design and is subservient to the main dwelling being a minor rear projection and set down from the ridge of the host dwelling. It is also sited in a rear location out of sight of any public vantage points. Overall, the design is considered to be acceptable.

5.7 Also to the rear, the proposal seeks the erection of a single storey flat roofed extension which would be minor in scale and respectful of the form and character of the host dwelling.

5.8 To the front, the proposal seeks the erection of a mono-pitched extension projecting 1m into the front driveway which would form additional garage/storage space as well as a small porch/entrance hall. The property currently features tile hung cladding, and it is proposed to replace this with external facing render at first floor level instead. This was considered during the site visit and it is noted that there is a range of finishing materials evident within the local area - including tile hung cladding, timber boarding and render. When considered cumulatively within the street scene, the extensions and alterations to materials are considered sympathetic to the form and character of development in the area. It is noteworthy that the adjacent neighbour at Number 8 has carried out a near identical scheme, which is considered to have worked well.

5.9 The fenestration has been designed to be in keeping with that of the existing, and matching materials (throughout the majority of the development) are proposed. As such, it is considered that the scheme complies with the requirements set out in Policy SD4, HOU8 and Section 12 of the NPPF and is acceptable in terms of design.

Impact on Residential Amenity

5.10 The impact of the proposal on residential amenity has been carefully assessed. The side extensions would measure 1m away from the property boundary with Number 6 which also enjoys a similar amenity gap of 1m. As such, there would be a distance of 2m between the two side facing walls. The wall of the neighbour at Number 6 has a side facing window serving a lounge and would likely be impacted in terms of light received due to the erection of the two storey extension. However, the lounge is also served by a large forward facing window, which forms the principal window, and would be unaffected by the development. Therefore it is considered that the impact of the proposed extension on light received to the secondary window would not lead to an unacceptable loss of light to this habitable room.

5.11 The siting, size and massing of the extensions have been well-designed and would not have an adverse effect on the adjacent neighbours by reason of an overbearing impact.

5.12 Although the extensions would see the introduction of a greater amount of windows to the rear, the outlook is towards the rear gardens of further residential properties and the host dwelling itself features a generous elongated garden. As such, overlooking is not considered to be an issue and privacy will not be compromised.

5.13 As such, for the reasons outlined above the scheme is acceptable in terms of impact to residential amenity and complies with the requirements set out HOU8 and SD4.

Highway Impact

5.14 Policy INF1 states that safe and efficient access should be provided to the highway network for all modes of transport and should be designed so as to encourage maximum potential use.

5.15 The proposal would result in the loss of a small portion of the front driveway and attached garage and as such the application has been assessed in relation to the Gloucestershire Manual for Streets. There is still sufficient room for more than one vehicle to be parked on the driveway if the scheme is implemented and as such is acceptable in terms of INF1.

6.0 Conclusion & Recommendation

6.1 The proposed scheme would be in accordance with the relevant policies, and it is therefore recommended that planning permission is granted subject to conditions.

RECOMMENDATION Permit

Conditions:

- 1 The works hereby permitted shall be begun before the expiration of five years from the date of this consent

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following approved documents:
- Proposed block plan: 019.023, received 14th June 2019.
 - Proposed elevations and floor plans: 019.023.Planning01, received 14th June 2019.
- ;except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans

- 3 The materials to be used in the construction of the external surfaces of the proposed development shall match those used in the existing dwelling

Reason: To ensure that the proposed development is in keeping with the existing dwelling

4. The external facing render shall be painted in a neutral palette and shall be retained as such unless otherwise approved in writing by the local planning authority.

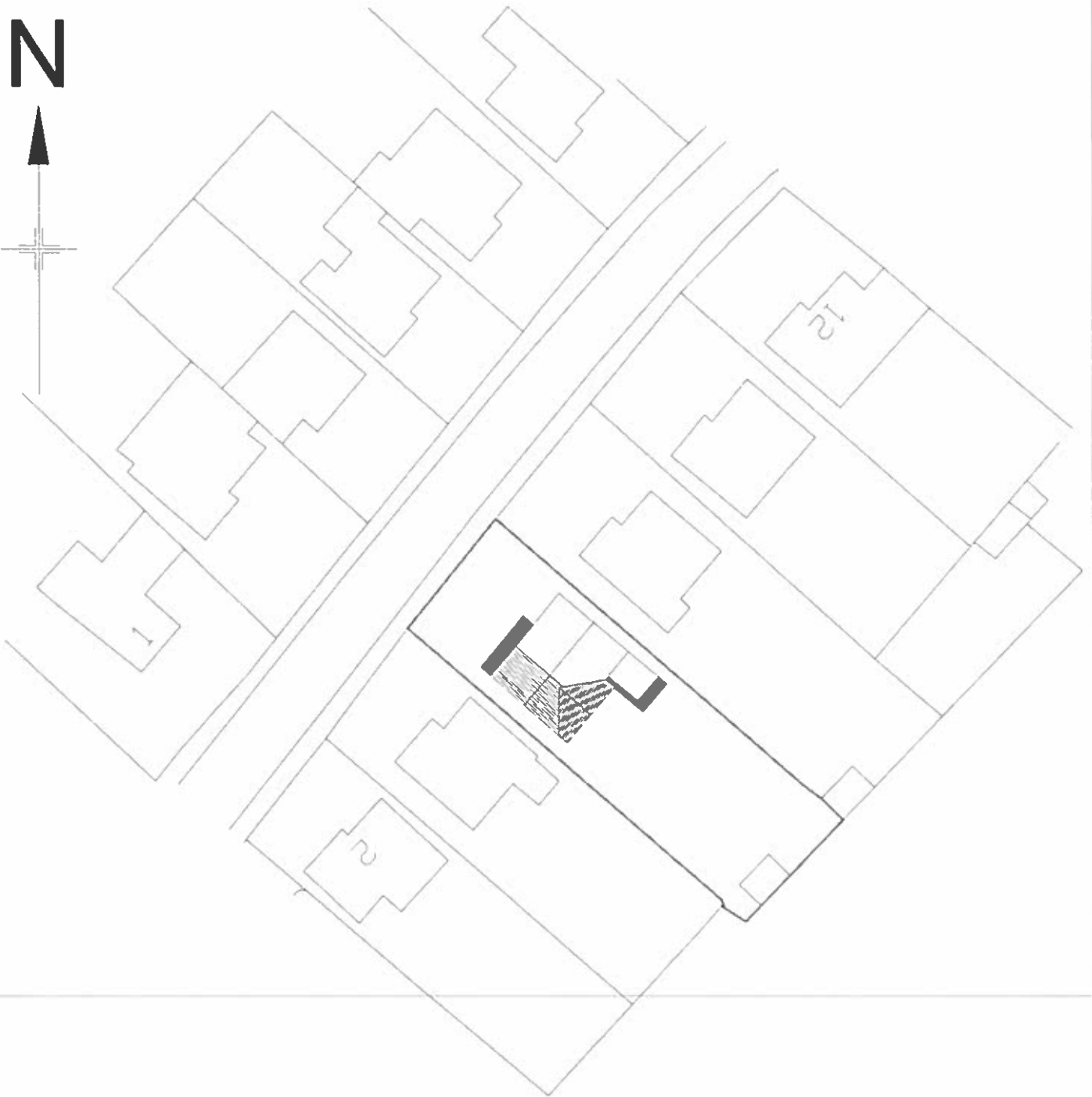
Reason: To ensure that the proposed development is in keeping with the surrounding area.



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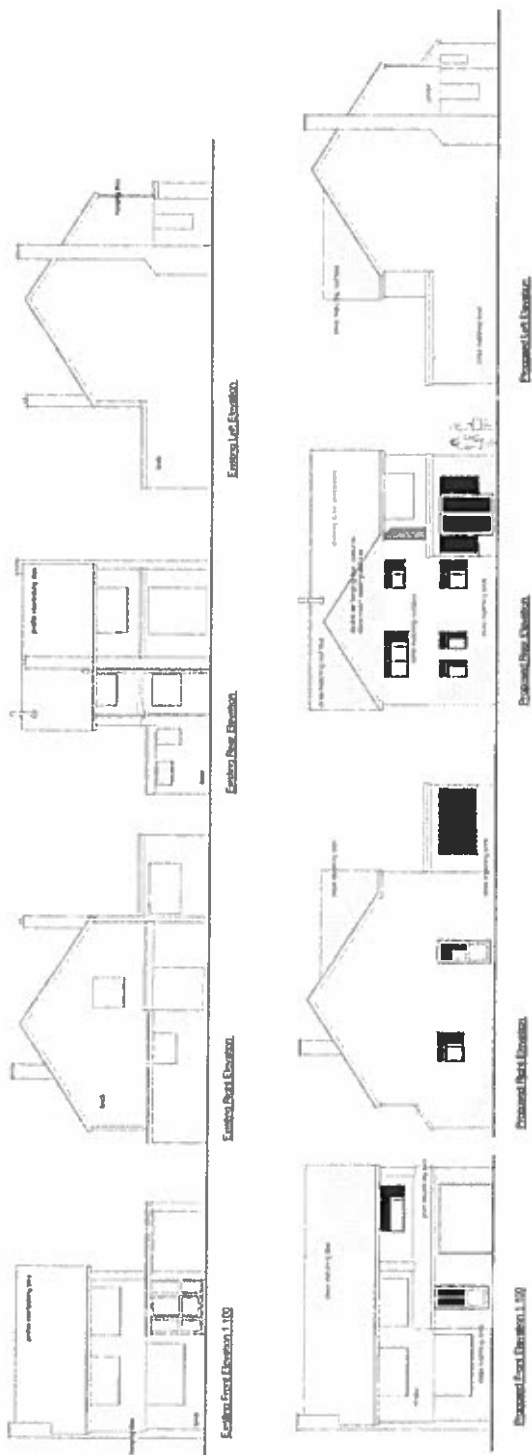
019.023.Block Plan 1:500
Proposed Single Storey Front and Rear Extensions
together with 2 Storey Side Extension @
6 Arundel Road Mitton

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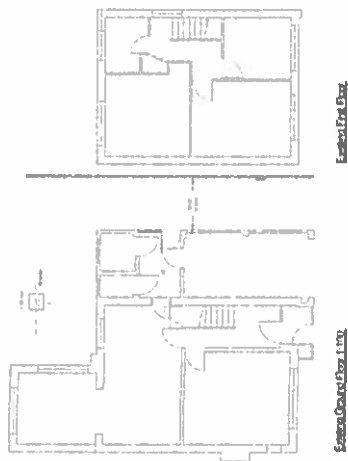
Produced on 17 June 2015 from the Ordnance Survey National Topographic Database and/or supporting survey material, provided at the date.
The plan shows the area bounded by 0190521554, 0190521572, 0190521575, 0190521576.
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304/A



Proposed Ground Floor Plan 1:50

Proposed First Floor Plan

[illegible]

19/00627/APP

Land Adj. To The John Moore Primary School, Columbine Road, 4

Valid 17.06.2019

Reserved matters planning application for up to 30 dwellings with affordable housing.

Grid Ref 390437 231203

Parish Wheatpieces

Ward Tewkesbury Town

Newtown Wheatpieces Ward

RECOMMENDATION Permit

Policies and Constraints

National Planning Policy Framework (2018)

Planning Practice Guidance

Joint Core Strategy (2017) - SP1, SP2, SD9, SD10, SD11, SD12, SD14, INF1, INF2, INF3, INF5, INF6, INF7,

Tewkesbury Borough Local Plan to 2011; March 2006 (TBLP) saved policies

Tewkesbury Borough Local Plan 2011 - 2031 - Pre-submission version 2019

Flood and Water Management SPD

Human Rights Act 1998 - Article 8

The First Protocol - Article 1

Consultations and Representations

Wheatpieces Parish Council - No objection

Gloucester County Highways - No objection to the amended plans and tracking arrangements

Urban Design Officer - No objection to the amended layout.

Housing Enabling Officer - The 'Site Plan' details the position and tenure mix as part of this application. The scheme is as previously agreed and therefore acceptable to this department.

Lead Local Flood Authority - No objection. The drawing showing the finished floor levels is suitable for the site.

Environmental Health Officer - No objection in terms of road traffic or other noise sources in the area adversely impacting future occupants.

3 letters of objection were received from local residents, the main points raised included:

-Land Should be retained for the school use in the future

-Unable to see where access and parking will be

-Are there sufficient parking spaces

-Is the hedgerow onto the lane at the east to be retained as it is occupied by many birds.

-There will be a new playgroup built along the western boundary that should be taken into account.

Planning Officers Comments: Gemma Webster

1.0 Application Site

1.1 The application site is situated on the southern edge of Tewkesbury next to John Moore Primary School, and south of the existing Wheatpieces residential development.

1.2 To the north the existing residential area of Cornflower Close is concealed behind a strip of dense vegetation. To the south of the site Bluebell Road connects the A38 with Starling Road and will provide access into the application site. South of this road is the new development called Tewkesbury Meadows, as part of the Wheatpieces development extension

1.3 The western boundary is formed by the edge of John Moore Primary School playing pitches. This boundary is characterised by the school fence and has no vegetation along the whole boundary. To the east the site abuts Rudgeway Lane, a lane of rural character with dense hedgerows to either side. These mature hedgerows restrict the visual connection of the site with the surrounding in this direction. The lane is not accessible to vehicles at its northern end. Beyond the lane is children's play area and residential development.

1.4 The site measures approximately 0.90 hectares and is currently grassland with mature vegetation, which is irregularly maintained, including hedgerows and some mature trees defining the northern, eastern and southern boundaries.

1.5 An existing footpath runs along the northern part of this boundary and provides a connection to Cornflower Road, Columbine Road, school entrance and the local centre (to the north). There is also a footpath along the eastern side of the site from Rudgeway Lane and connects to Starling Road.

1.6 The site is relatively flat, with a gentle slope with the lowest area along the southern boundary. There is a change in level of some 0.2m across the full width of the site.

1.7 The site is not located within any sensitive landscape areas and is within flood zone 1.

1.8 The site is identified with the emerging Tewkesbury Borough Plan, pre-submission version 2019, under Policy RES1 site TEW2 and is identified on the Tewkesbury South proposal map within the emerging plan.

1.9 The site has an approved outline permission for up to 30 dwellings, permitted in May 2019.

2.0 Planning History

18/01104/OUT - Outline application for up to 30 dwellings with affordable housing. All matters bar access are reserved - Permit

3.0 Current Application

3.1 The current application submitted is a reserve matters application for all matters bar access as this was approved under the outline application. The proposal is for 30 dwellings, comprising a mix of market and affordable homes; access for vehicles, cycles and pedestrians off Bluebell Road; further pedestrian links to Columbine Road, Cornflower Close and Starling Road; provision of public open space; retention of existing vegetation along the boundary.

3.2 The housing mix would be 6 x 4 bedroom; 14 x 3 bedroom; 6 x 2 bedroom and 4 x 1 bedroom properties. There would be 18 units of open market housing and 12 units of affordable housing equating to 40%.

3.3 Two attenuation ponds are proposed adjacent to the access to the south of the site.

3.4 Parking would be provided for each of the dwellings, along with 6 additional visitor spaces across the site.

3.5 There are varying house types across the site as detailed within the Site Layout plan, the house type will match that of the Wheatpieces 2 development adjacent.

4.0 Policy Context

4.1 The determination of a planning application is to be made pursuant to section 38(6) of the Planning and Compulsory Purchase Act 2004, which is to be read in conjunction with section 70(2) of The Town and Country Planning Act 1990. Section 38(6) requires the local planning authority to determine planning applications in accordance with the development plan, unless there are material circumstances which "indicate otherwise". Section 70(2) provides that in determining applications the local planning authority "shall have regard to the provisions of the Development Plan, so far as material to the application and to any other materials considerations."

4.2 The development plan comprises the Joint Core Strategy (JCS) (2017) and saved policies in the Tewkesbury Borough Local Plan to 2011 (March 2006) (TBLP).

4.3 Other material policy considerations include national planning guidance contained within the National Planning Policy Framework, and the emerging Tewkesbury Borough Local Plan (Pre-submission version) 2011-2031

4.4 The relevant policies are set out in the appropriate sections of this report.

5.0 Analysis

5.1 The principle of residential development at the site has been established through the grant of outline planning permission, and the proposed allocation of the site as TEW2 in the Tewkesbury Borough Plan - pre-submission version.

5.2 The main issues to be considered in this application are the layout, type and mix of the proposed dwellings, appearance and design, affordable housing, existing and future residential amenity and landscaping.

Layout, character and scale

5.3 The NPPF states that creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable in communities.

5.4 JCS Policy SD4 sets out the design requirements for new development. Amongst other things, it requires development to respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness and addressing the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting.

5.5 The outline application had an 'illustrative' site plan agreed, this included a number of good design and appropriate parameters that had been set in place for the site. The original site plan deviated from the illustrative plan to one that did not demonstrate such good design. However, following discussions with the agent and the Urban Designer, the latest Site layout to be submitted (WE036_SL-500F) is deemed to be an improvement and the relationship between the dwellings and the highway and parking is acceptable.

5.6 The layout provides sufficient private amenity space for each of the dwellings and follows a pattern of development that is consistent with the surrounding residential areas. Materials have been discussed in depth with the Urban Design Officer and it has been agreed that the materials will be similar to that of the existing Wheatpieces development. The material layout plan shows the different materials for each of the house types.

5.7 The density of the site equates to 33 dwellings per hectare, which is a fairly low density and is lower than the adjacent Wheatpieces phase1A scheme to the south

5.8 Therefore the layout, scale and density is appropriate for the site in this location and complies with Policy SD4 and the NPPF.

Traffic and Transport

5.9 Section 9 of the NPPF relates to the promotion of sustainable transport and specifies that in assessing specific applications for development, it should be ensured that safe and suitable access to the site can be achieved for all users. JCS Policy INF1 reiterates this advice. Further the policy states permission will be granted where the impact of development is not considered to be severe.

5.10 The proposed vehicular access is to the south of the site off Bluebell Road, and the access has been agreed with the outline approval. Within this reserve matters application, details have been provided for the tracking information, access through the site and parking levels.

5.11 The site would continue to have access to the existing network of pedestrian and cycle links connecting the site with:

- Tewkesbury Meadows development south of Bluebell Road;
- The existing residential area to the north at Wheatpieces via an existing and retained footpath located in the north western corner of the site adjacent to plot 272, and;
- The existing residential area along Starling Road to the north east via a new pedestrian link, between plots 283 and 284, onto the existing footpath / cycleway along the eastern boundary of the site.

5.12 Gloucestershire County Council has been consulted as Local Highway Authority (LHA). Who requested further tracking information and information on the access road surfacing and demarcation of pedestrian routes through the site. Revised drawings and supporting information has been submitted and the LHA is satisfied that the level of parking and the number of visitor spaces across the site are sufficient, the tracking information is acceptable as is the materials and details of the pedestrian routes through the site.

5.13 A specific car parking plan has been provided on the site layout drawing which demonstrates that 56 car parking spaces are provided for the 30 dwellings, plus an additional 14 garages, and 6 visitor spaces are distributed across the site (equivalent to the required 0.2 spaces per dwelling).

5.14 As such, it is considered that the road network and parking through the site is acceptable and the proposal would not have a severe impact on the highway network in accordance with JCS Policy INF1.

Affordable Housing

5.15 The NPPF sets out that LPAs should set policies for meeting affordable housing need on development sites. Policy SD12 of the JCS requires a minimum of 40% affordable housing.

5.16 Policy SD12 (Affordable Housing) states where possible, affordable housing should be provided on-site. The reserve matters application confirms that there will be 12 out of the 30 units as affordable units on site, this equates to 40%, which is consistent to the requirements of the policy SD12.

5.17 The Housing Enabling Officer has confirmed that the 'Site Plan' detailing the position and tenure mix as part of the application is as previously agreed at the outline stage and is therefore acceptable to the Authority, and in compliance with Policy SD12.

Housing mix

5.18 Policy SD11 (Housing Mix and Standards) of the adopted JCS states that housing development will be required to provide an appropriate mix of dwelling sizes, types and tenures in order to contribute to mixed and balanced communities and a balanced housing market. Development should address the needs of the local area, including the needs of older people as set out in the local housing evidence base, including the most up to date Strategic Housing Market Assessment (SHMA).

5.19 The latest JCS SHMA update (2015) states that, in Tewkesbury, 42.7% of new market dwellings should be three bedroom properties, 26.9% having two bedrooms, 19.2% containing four or more bedrooms and 11.3% having one bedroom. The applicant suggest the following mix:

- 6 x 4 bedroom - 20% of total number of homes
- 14 x 3 bedroom - 46.6% of total number of homes
- 6 x 2 bedroom - 20% of total number of homes
- 4 x 1 bedroom - 13.3% of total number of homes

5.20 Therefore the schedule of accommodation is closely in line with the provisions of Policy SD11 and the SHMA, and meets the requirements of condition 16 of the outline application.

Residential amenity for existing and future residents

5.21 JCS Policy SD4 (iii) requires that new development should enhance comfort, convenience and enjoyment through the assessment of then opportunities for light, privacy and external space, and the avoidance of mitigation of potential disturbance, including visual intrusion, noise smell and pollution. Policy SD14 further requires that new development must cause no harm to local amenity, including the amenity of neighbouring occupiers.

5.22 The proposed dwellings would be accommodated on the site without detriment to neighbouring amenity due to the distance and landscaping between the proposed dwellings and the existing residential properties outside of the site.

5.23 The amended site layout plan demonstrates that the proposed parking for the units towards the north would be located further away from the windows to ensure no potential for disturbance. The addition of fencing and hedgerow across the front gardens on the plots adjacent to the access road through the site further improves the amenity of future occupiers, and provides a further barrier between the dwelling and the road ensuring privacy.

5.24 The layout of the proposal is consistent with the aims of the JCS and its policies and therefore complies with Policy SD4 and SD14.

Landscaping

5.25 The NPPF sets out that planning decisions should contribute to and enhance the natural and local environment by recognising the intrinsic character and beauty of the countryside. Policy SD6 of the JCS states that development will seek to protect landscape character for its own intrinsic beauty and for its benefit to economic, social and environmental well-being. JCS policy SD4 (iv) requires the design of open space and landscaped areas to be of a high quality design, proving a clear structure and constitute an integral and cohesive element of design.

5.26 The site does not fall under any statutory or non-statutory landscape designation. The character of the surrounding area around the site is that of residential with fairly limited additional landscaping.

5.27 The site currently benefits from mature hedgerow around the northern, eastern and southern boundaries. The site plan identifies that these hedgerows would remain as part of the landscaping surrounding the site, in addition further planting such as trees throughout the site and hedgerows along the front boundaries of properties would serve to ensure sufficient landscaping is maintained on the site. The character of this site with the existing hedgerows would remain and also provide screening to and from the site, and therefore it is in accordance with Policy SD6.

Drainage

5.28 Policy INF2 of the JCS seeks to prevent development that would be at risk of flooding. Proposals must not increase the level of risk to the safety of occupiers of a site, the local community or the wider environment either on the site or elsewhere. New development should incorporate suitable Sustainable Drainage Systems where appropriate.

5.29 Policy A1 of the JCS states that adequate flood risk management across the site should be delivered in the SA's and all more vulnerable development should be wholly located within Flood Zone 1. This includes measures to reduce flood risk downstream through increasing storage capacity.

5.30 The site is located within Flood Zone 1 (low risk) as defined by the Environment Agency's most up-to-date flood risk maps. The LLFA have confirmed that the drawing showing the finished floor levels are acceptable for this site and is therefore in accordance with Policy INF2.

Other Matters

5.31 Local residents have made the comment that the site should be left to allow the school to use in the future should the need arise, the principle of residential development on this site has now been established and approved, and therefore it is not for this application to re-examine the principle of development.

5.32 A concern was also raised that there may not be sufficient parking on the site, the LHA have confirmed that sufficient parking is available on site, including the required visitor parking in accordance to guidance and policy.

6.0 Planning Conclusion

6.1 It is considered that the proposal would result in an acceptable layout, scale, appearance and landscaping which would be well related to the surrounding residential area of Wheatpieces. It is therefore recommended that the Council be minded to permit this application.

RECOMMENDATION Permit

1. The development shall be carried out strictly in accordance with the approved plans:
3B5P.PL-01, 272_272-1.PL-01, 372_372-1.PL-01, 375-1.PL-01, 385.PL-03, 385.PL-01, 385-1.PL-03, 470.PL-01, 472.PL-02, 472.PL-05, 472-1.PL-02, 472-1.PL-05, 489.PL-01, 489.PL-06, 489.PL-03, 489-1.PL-03, 489-1.PL-06, 864.PL-01, 864.PL-03, GL01.PL-01, GL02.PL-01, RV2.852.PL-01, RV2.852.PL-03, WE06-LS-016a, WE036-SL-520B;

except where otherwise stipulated by conditions attached to this permission.

Reason: To ensure adherence to the approved plans in the interests of a satisfactory form of development

2. The development hereby permitted shall be carried out in accordance to the materials schedule submitted to the Local Authority on 29/8/2019, Plan number WE036-SL-520B.

Reason: To ensure an acceptable appearance to the development.

3. Any trees that are found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of similar size and species in the first suitable planting season.

Reason: To ensure suitable landscaping scheme is maintained to protect the visual amenity of the area.

4. The dwellings hereby approved shall not be occupied until the vehicular parking and turning and loading/unloading facilities within the site have been provided in accordance with the approved plans and shall be maintained available for those purposes for the duration of the development.

Reason: To ensure highway safety and sufficient off street parking.

Note:

1 Statement of Positive and Proactive Engagement

In accordance with the requirements of the NPPF the Local Planning Authority has worked with the applicant in a positive and proactive manner in order to secure sustainable development which will improve the economic, social and environmental conditions of the area by negotiating amendments to the material and external colour of the proposal.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH
SEPARATE GROUP / SITE SPECIFIC CONSTRUCTION
NOTES AND MATERIALS SPECIFICATION.

Accommodation Schedule

Private	Type	Beds	Stores	No	68.0%
Chesterton	Byron	3	2	4	
	Lytelton	3	2	2	
	Healey	3	2	4	
	Hallam	4	2	1	
	Brooke	4	2	2	
Langley		4	2	3	

Rent	Type	Beds	Stores	No	28.0%
18F01 Swift Gf		1	1	1	
18F01 Swift FF		1	1	1	
18F03 Stein FF		1	1	1	
28AP Sinclair		2	2	1	
38SP Sorley		3	2	1	

Shared	Type	Beds	Stores	No	29.0%
28AP Sinclair		2	2	1	
38SP Sorley		3	2	1	
Total				30	

Revision

A	Updated to 2018 house types - increases of 2 no plots (1 AE, 1 CM)	12.06.18	EAH
B	Layout redrawn to reflect Outline Approval	04.02.19	EAH
C	Line Boundary updated to comply with version 1.0	05.03.19	EAH
D	HA housing mix updated to reflect PR comments	22.03.19	EAH
E	Layout redrawn following advice given at LA meeting	30.05.19	EAH
F	Vehicle parking layout added on Highway	14.08.19	JA

Wheatpices
Area 2

SITE PLAN

Scale	1:500	Drawn	EAH
Date	May '17	Checked	

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J. BLOOR (TEWKESBURY) LIMITED
WESTERN HOUSE, FURROWFIELD PARK
TEWKESBURY, GLOUCESTERSHIRE, GL20 8UR
TELEPHONE 01854 290485 FAX 01854 290544

Drawing No.

WE036-SL-500 F



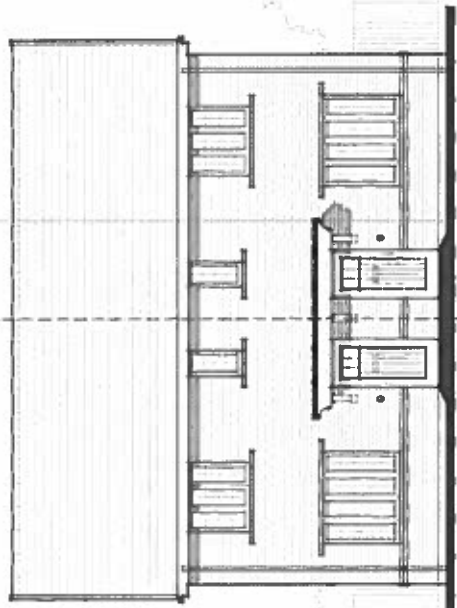
Wheatpices Area 2

The John Moore
Primary School

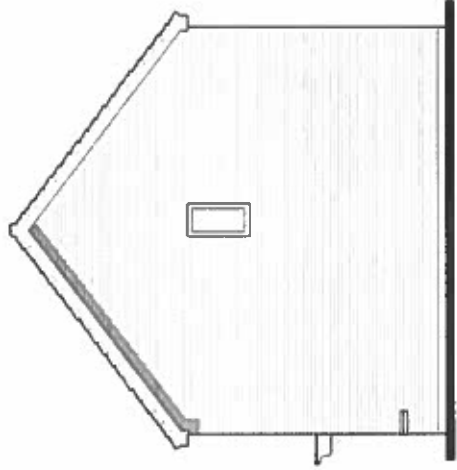
310/A



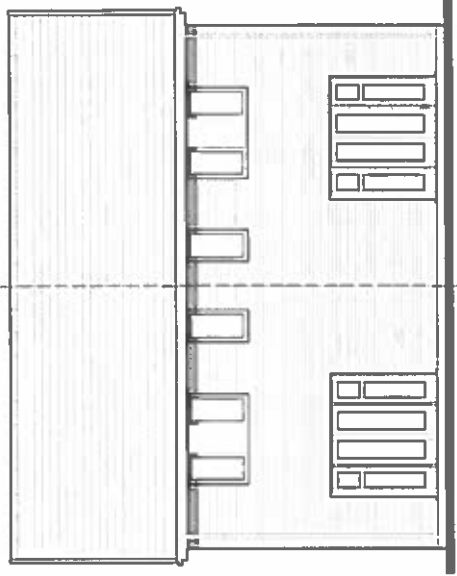
Scale: 1/8" = 1'-0"



RO T V TIO



SID V TIO

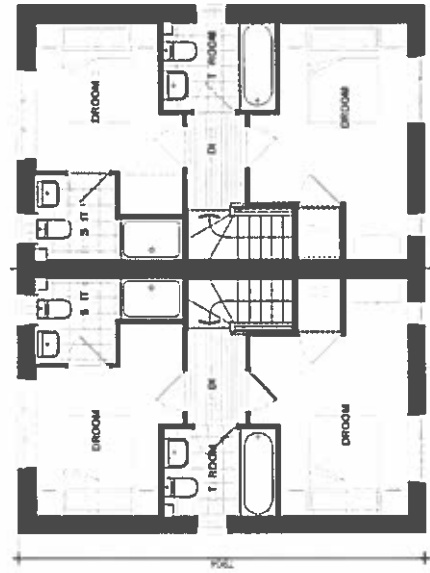


R R V TIO


310/0



RO D OOR



IRST OOR

 **esterton**

BRICK

272_272-1.PL-01

DATE: R 11/11 REV:

SCALE: 1/8" = 1'-0"

DRAWN: M 07/09/07

CHECKED: M 07/09/07

BLOOR HOMES



340/e



ron

BRICK

372 372-1.PL-01

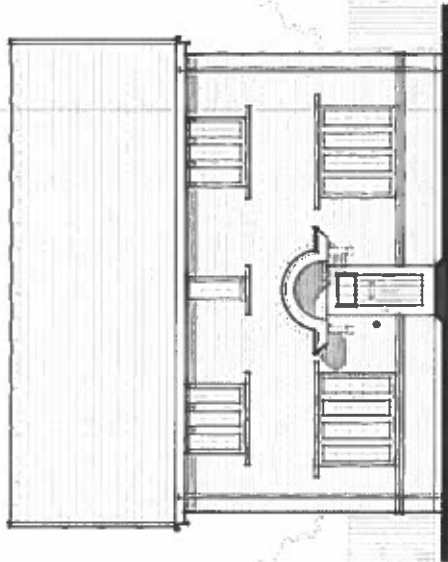
DATE: M 11/11/00 REV:

SCALE: 0 1000000

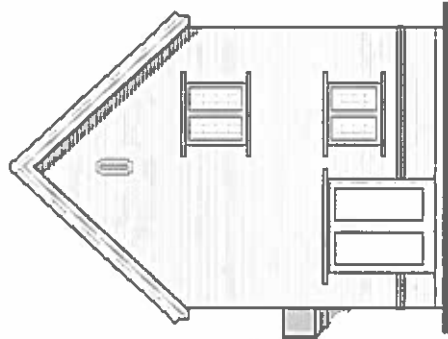
DRAWN BY 787203

CHECKED M

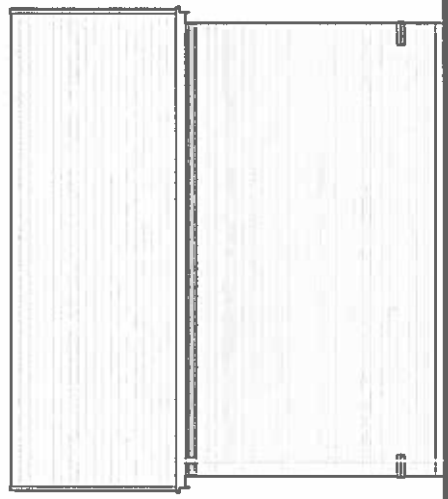
BLOOR HOMES



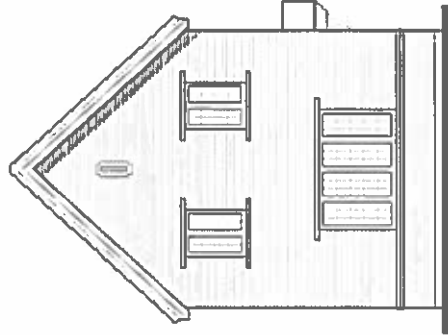
RO T V TIO



R R V TIO

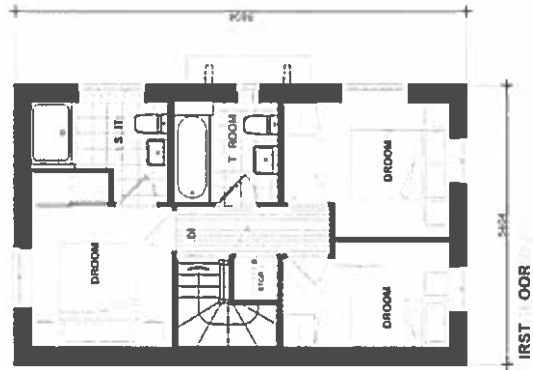
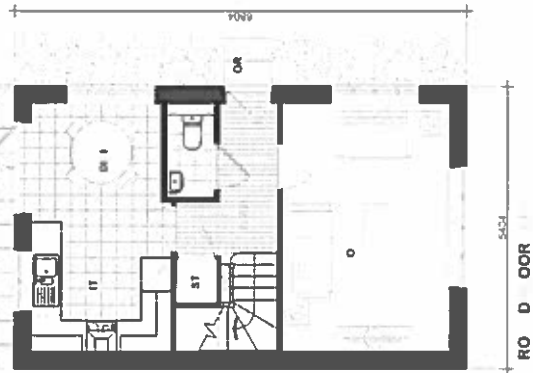


SID V TIO



SID V TIO

310/F



tteton
BRICK
375-1.PL-01

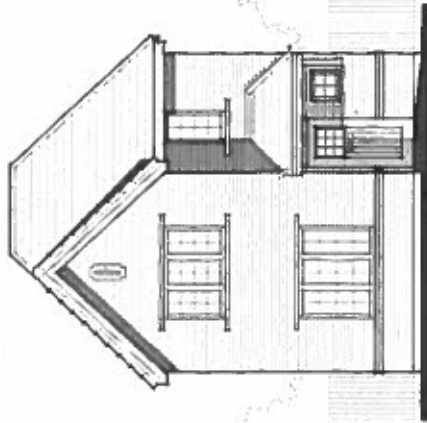
DATE: R REV:
SCALE: 1:100
DRAWN: DT
CHECKED: M

78.72m²
84m²

BLOOR HOMES

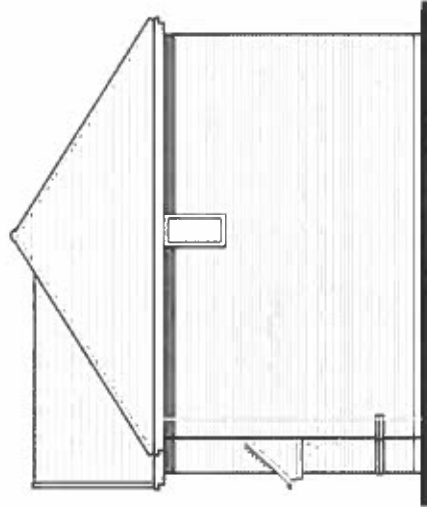


Scale: 1/16" = 1'-0"

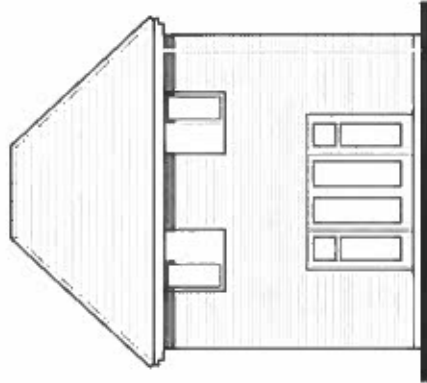


FRONT ELEVATION

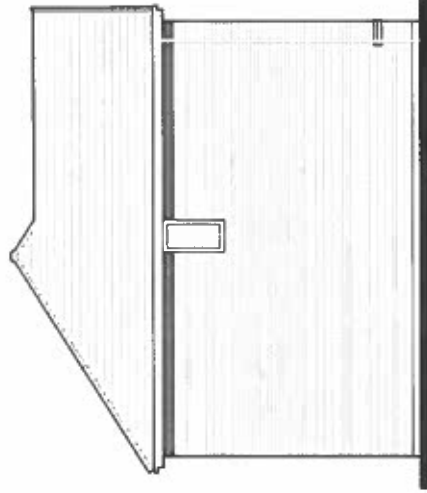
310/G



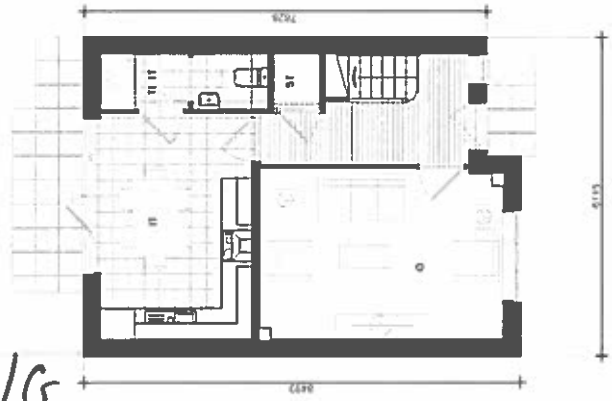
LEFT SIDE ELEVATION



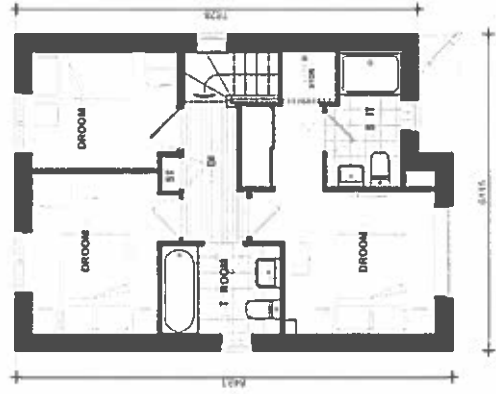
RIGHT SIDE ELEVATION



BACK ELEVATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN



BRICK
385.PL-01

DATE: 11/11/11 REV: 1

SCALE: 1/8" = 1'-0"

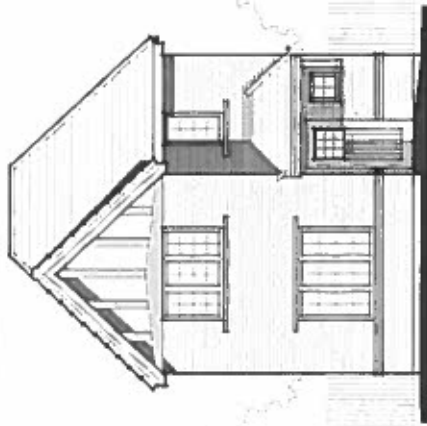
DRAWN: S CHECKED: M

83.86m²
907ft²

BLOOR HOMES[®]

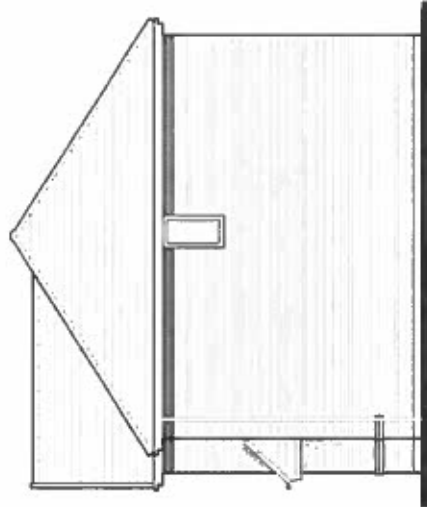


Scale: 1/8" = 1'-0"

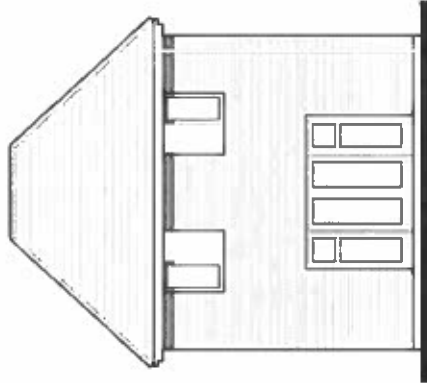


FRONT ELEVATION

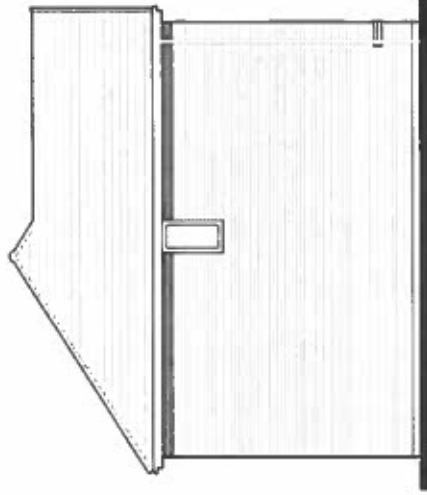
310/H



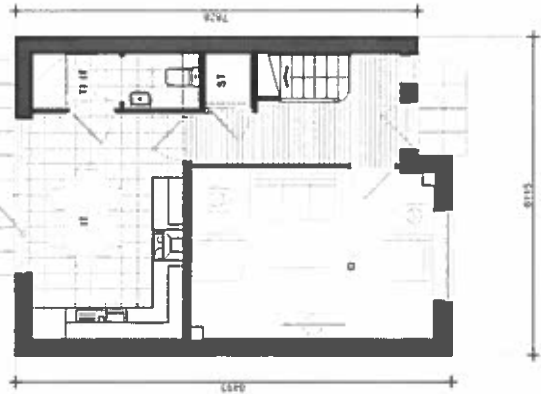
LEFT SIDE ELEVATION



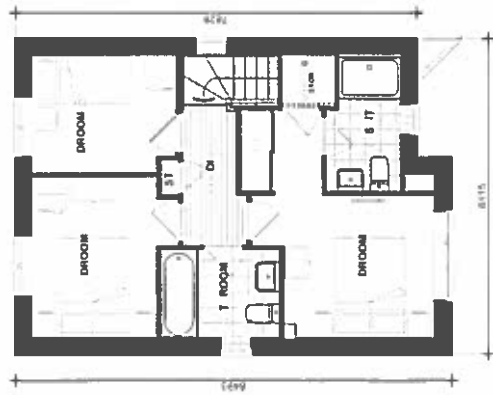
RIGHT SIDE ELEVATION



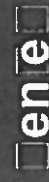
BACK ELEVATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN



TUDOR
385.PL-03

DATE: R REV:

SCALE: 1/8" = 1'-0"

DRAWN: S

CHECKED: M

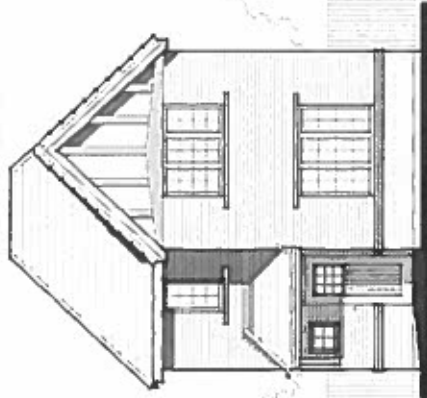
03.60m²

90 sq ft

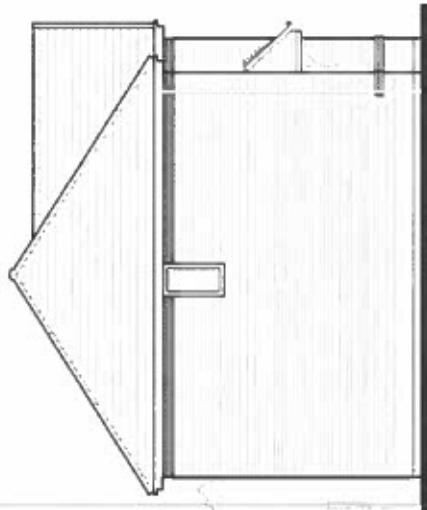
BLOOR HOMES[®]



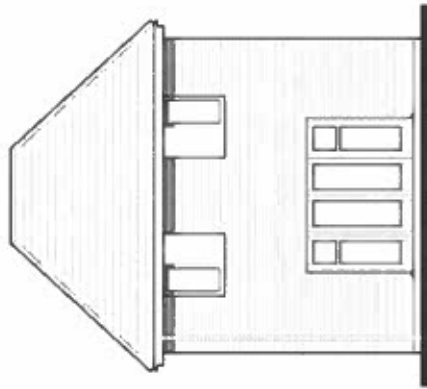
Scale 1/16"



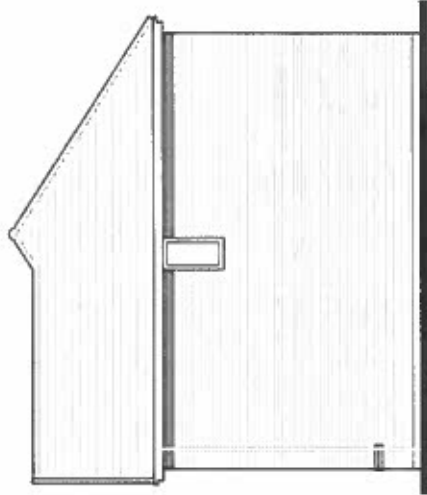
FRONT ELEVATION



SIDE ELEVATION

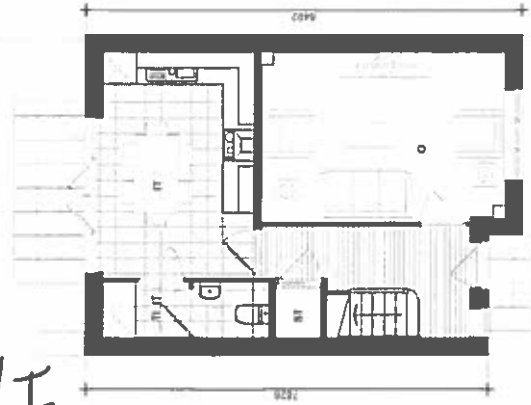


REAR ELEVATION

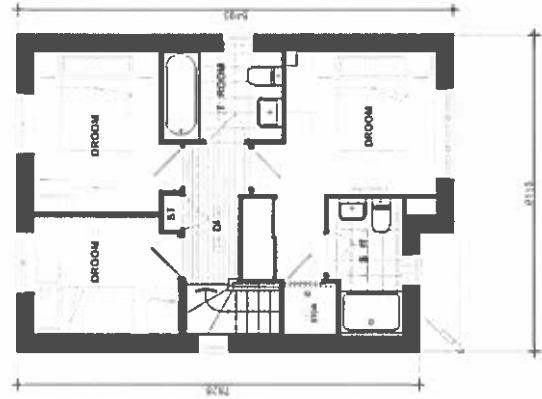


SIDE ELEVATION

310/I



FIRST FLOOR



SECOND FLOOR



TUDOR
385-1.PL-03

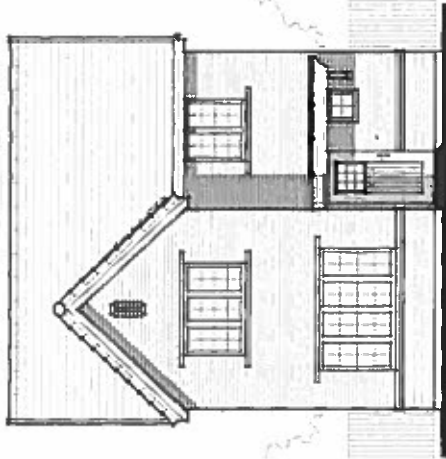
DATE: 10/10/10 REV: 1
SCALE: 1/16" = 1'-0"
DRAWN: S M
CHECKED: M

E2.86m²
503/10

BLOOR HOMES

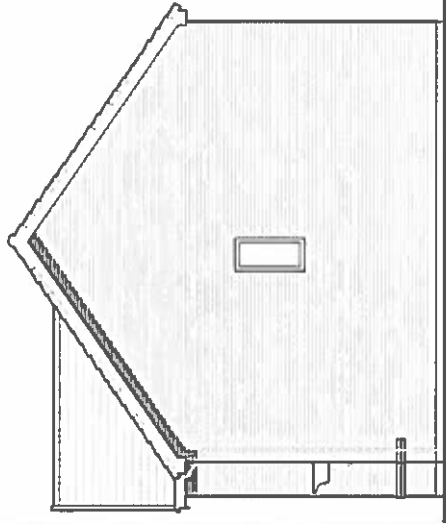


Scale 1:100

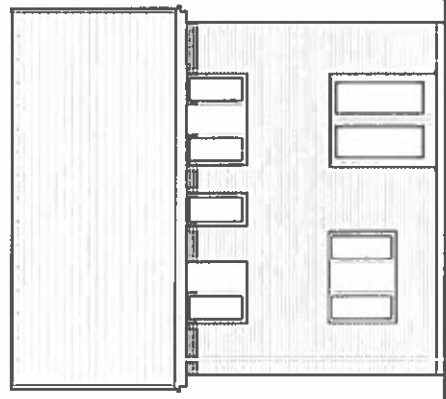


FRONT ELEVATION

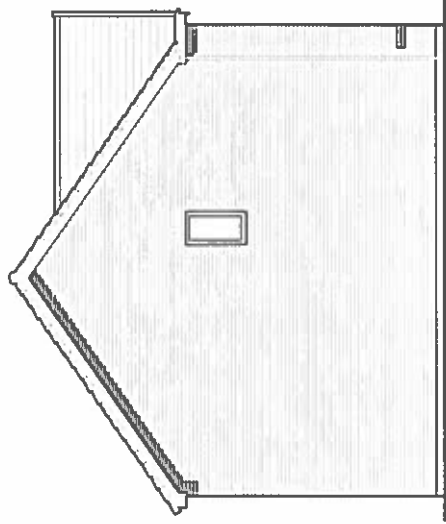
3/10/15



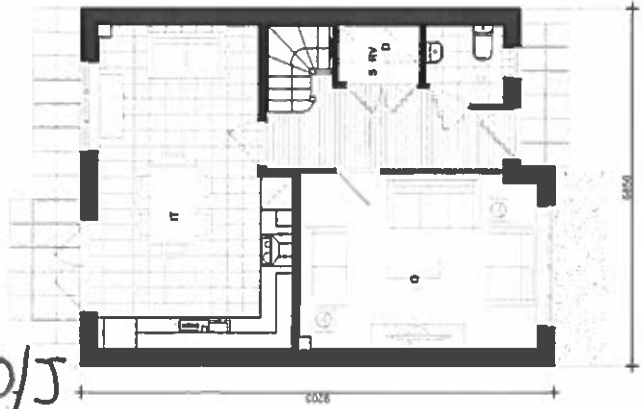
SIDE ELEVATION



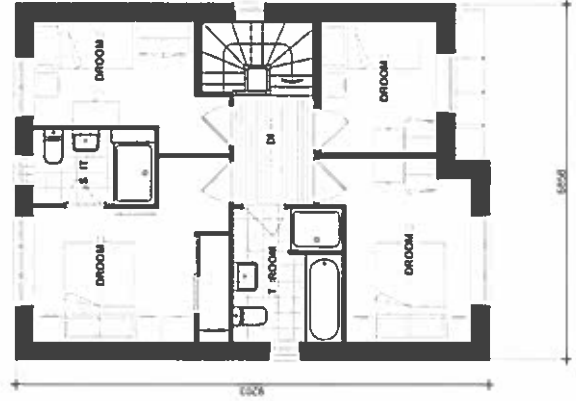
REAR ELEVATION



SIDE ELEVATION



FIRST FLOOR



SECOND FLOOR



BRICK
470.PL-01

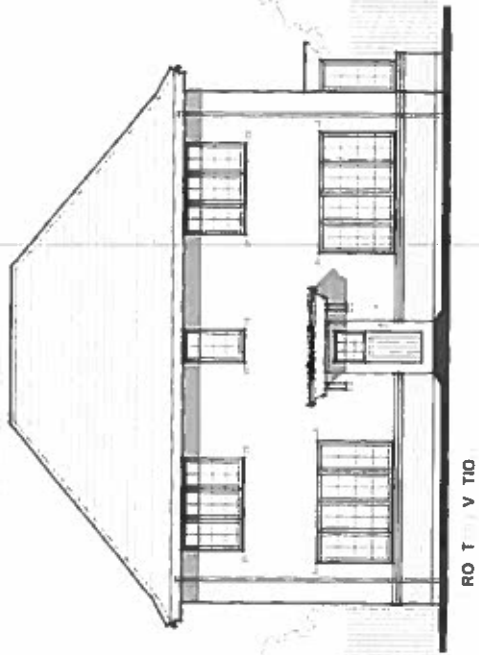
DATE: M / D / Y REV:

SCALE: 1:100

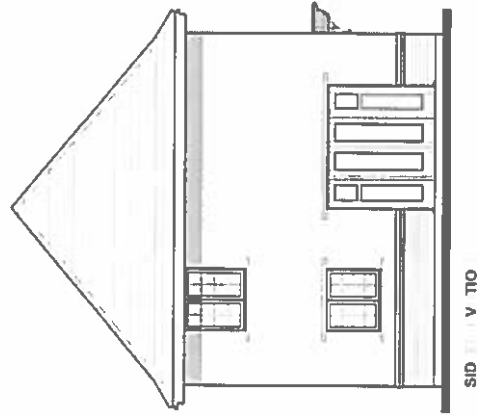
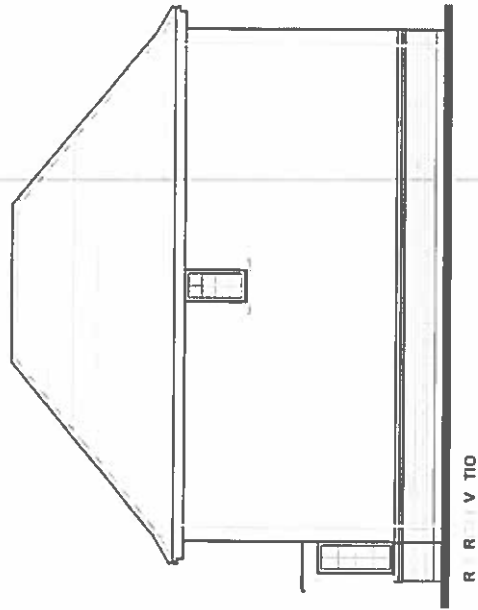
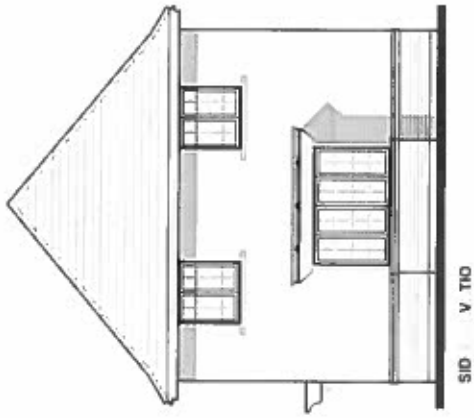
DRAWN: DT 103.42m²

CHECKED: M 111.3m²

BLOOR HOMES



310/K

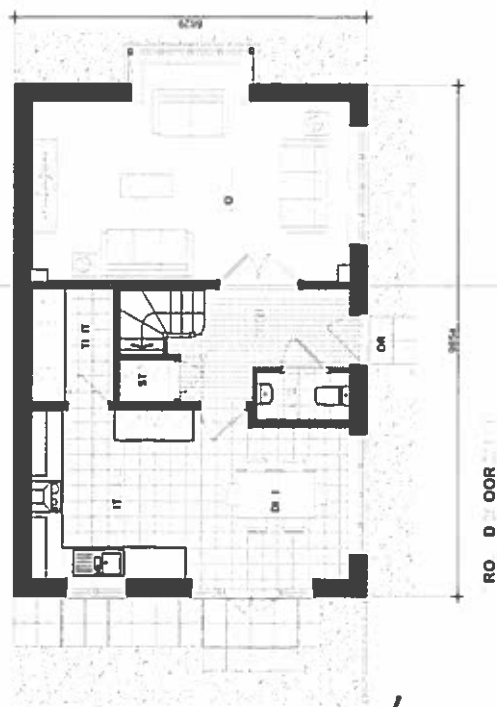


roo e
RENDER
472.PL-02

DATE: R REV:
SCALE: DT
DRAWN: DT
CHECKED: M

116.65m²
1256m²

BLOOR HOMES



roo e

472.PL-05

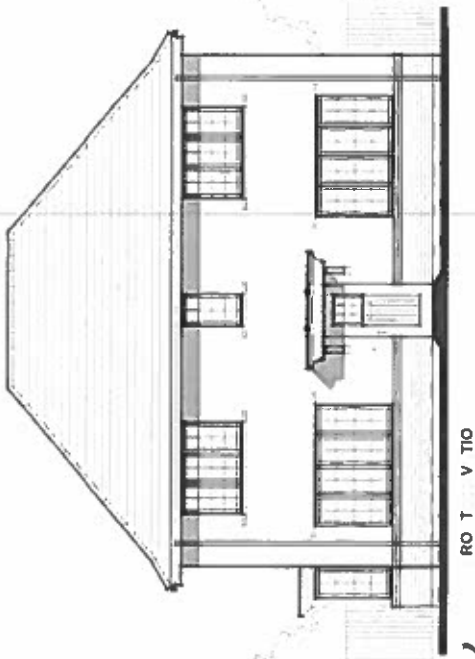
DATE: R REV:

SCALE: 1/100

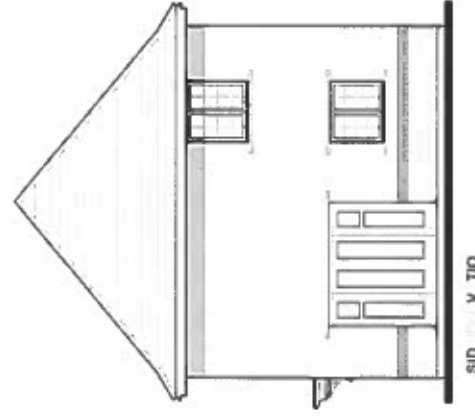
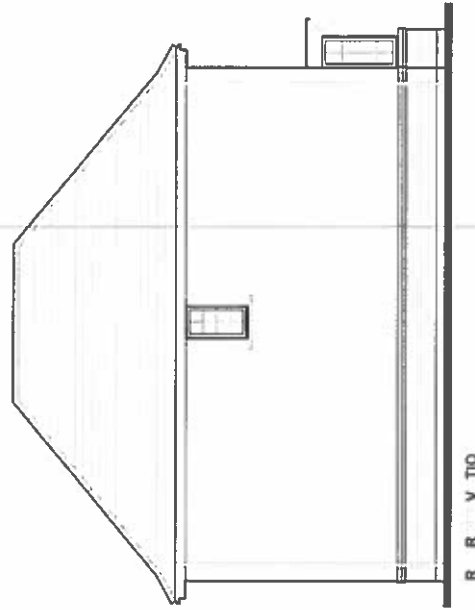
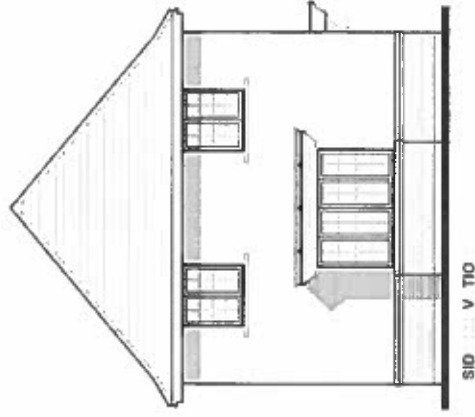
DRAWN: DT 115.62m²

CHECKED: M 12.50m²

BLOOR HOMES



310/m



roo e

RENDER

472-1.PL-02

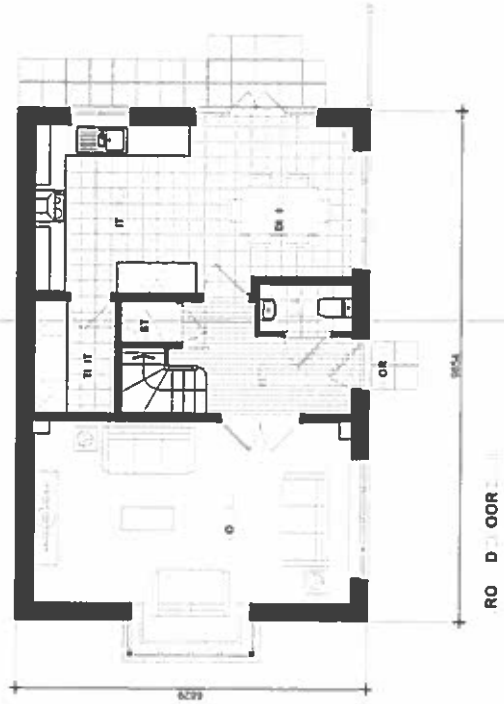
DATE: R REV:

SCALE: 1:100

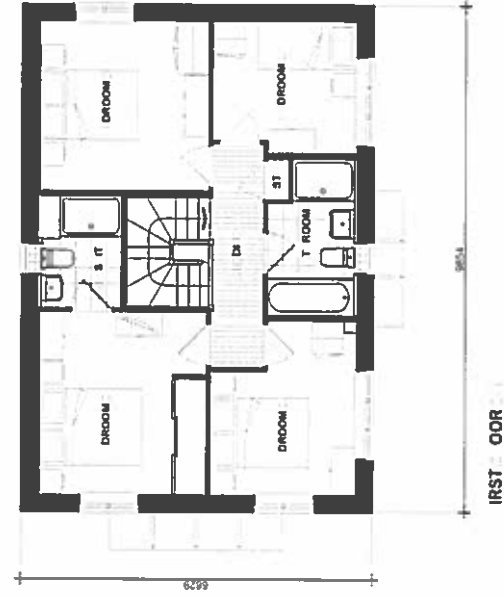
DRAWN: DT 1:16 65m²

CHECKED: M 1:25 6m²

BLOOR HOMES



FIRST FLOOR



SECOND FLOOR

rooe

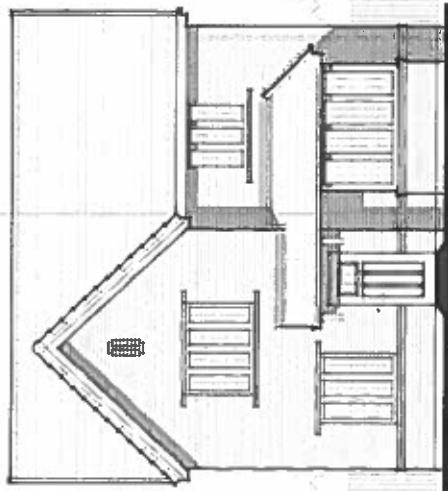
472-1.PL-05

DATE: 10/10/10 REV: 1
SCALE: 1/100
DRAWN: DT
CHECKED: M

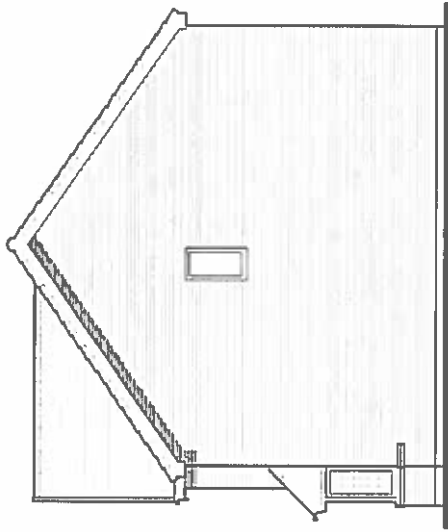
116.65m²
1256ft²

BLOOR HOMES

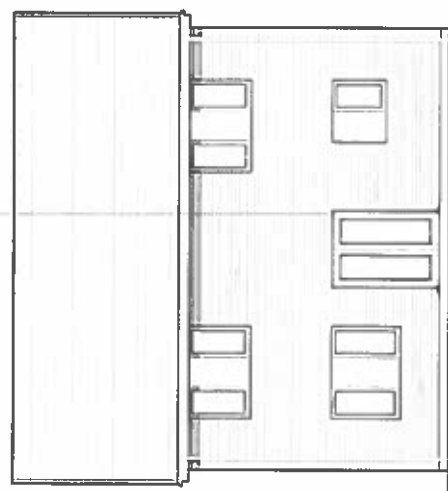
310/N



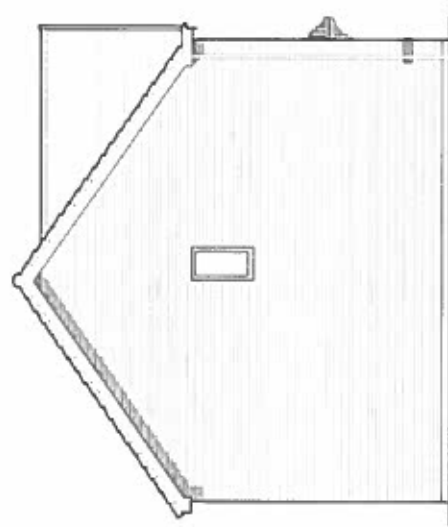
RO T V TIO



SID V TIO



R R V TIO



SID V TIO

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BRICK

489.PL-01

DATE: R

SCALE: 1/100

DRAWN: M

CHECKED: M

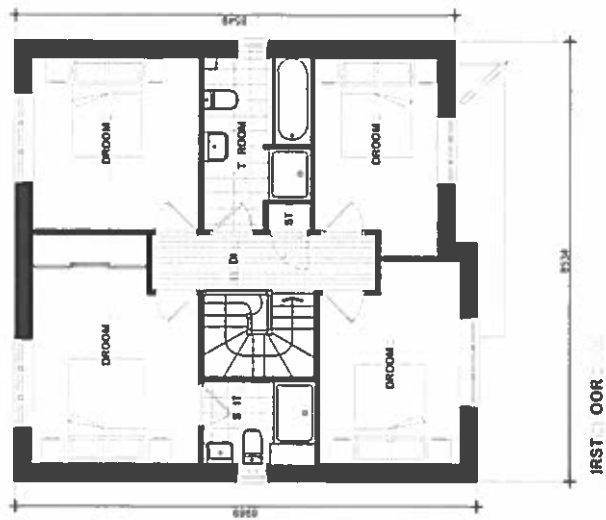
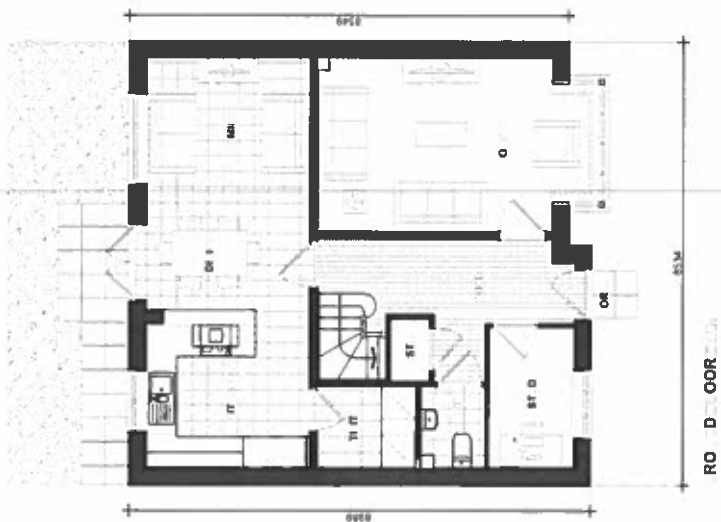
REV:

131.03 m²

1410 ft²

BLOOR HOMES

310/0



an e
FLOOR PLANS
489.PL-06

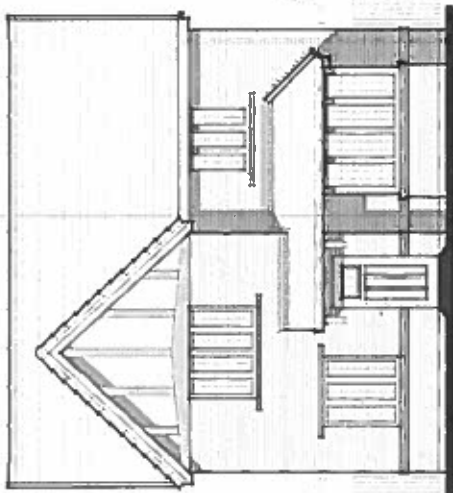
DATE: **R** REV:
SCALE: **1:100**
DRAWN: **M** 131.00 m²
CHECKED: **M** 141.00 m²

BLOOR HOMES

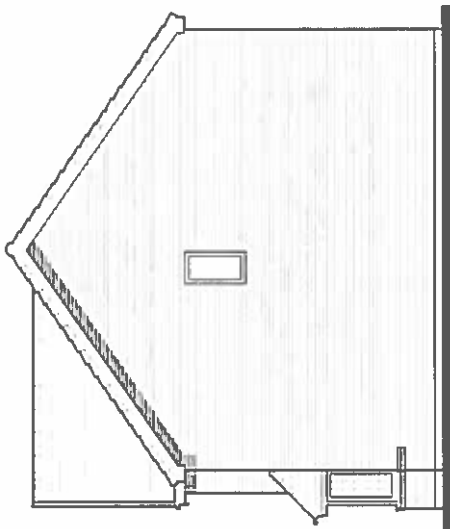
310/P



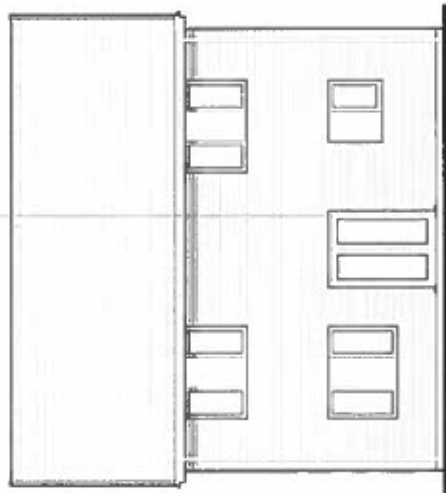
Scale 1/100



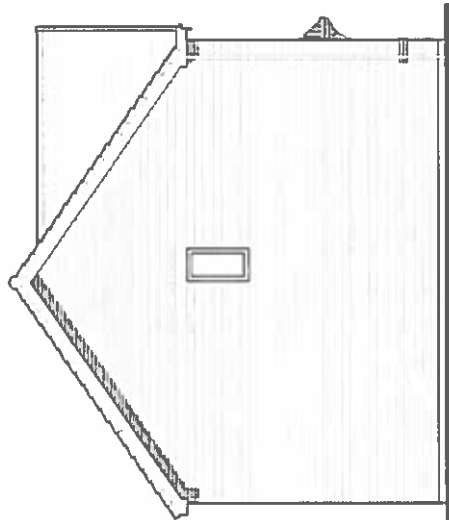
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

an e

TUDOR

489.PL-03

DATE: 11/11/11 REV:

SCALE: 1/100

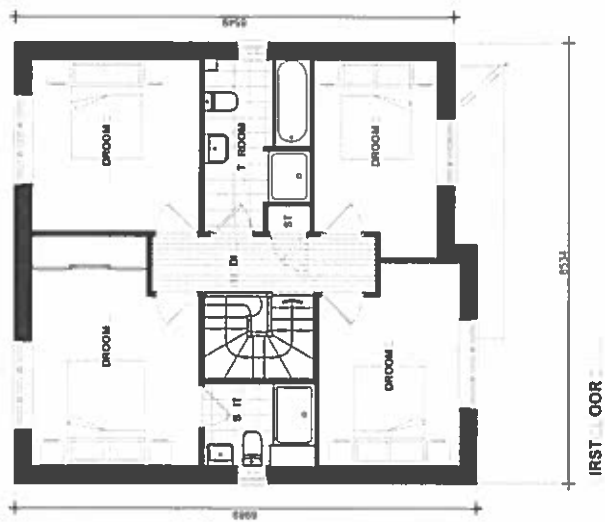
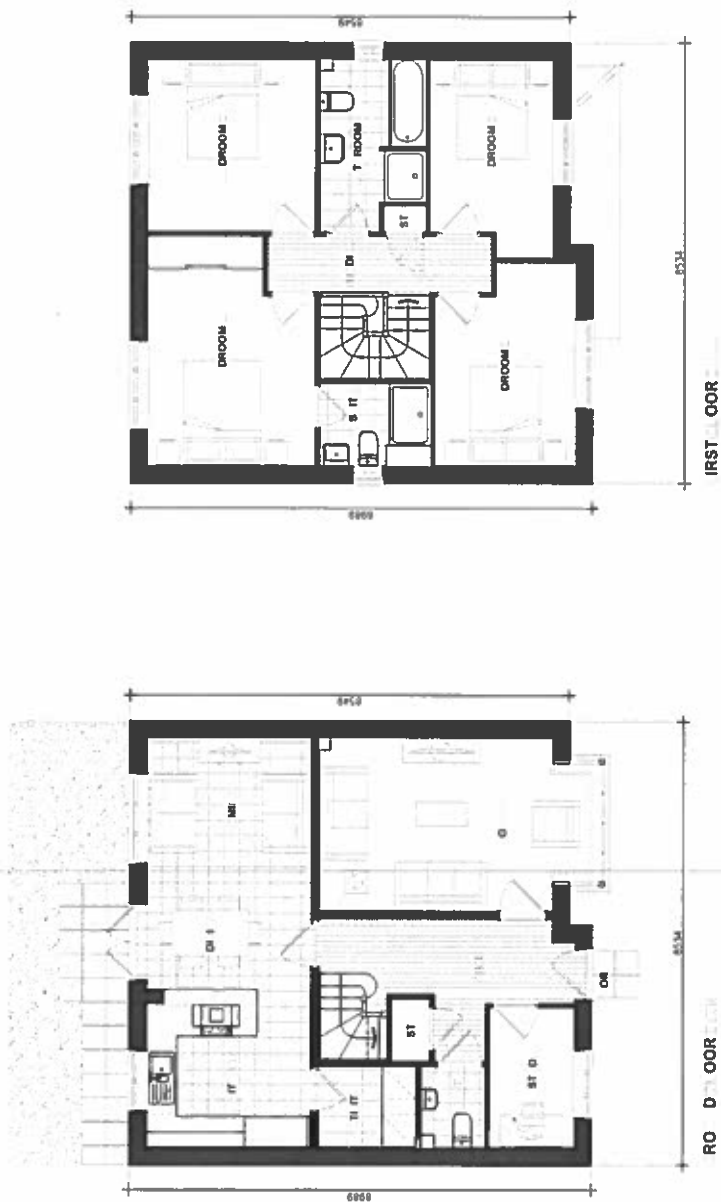
DRAWN: M

CHECKED: M

13' 00" x 14' 00"

14' 00" x 14' 00"

BLOOR HOMES



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FLOOR PLANS
489.PL-06

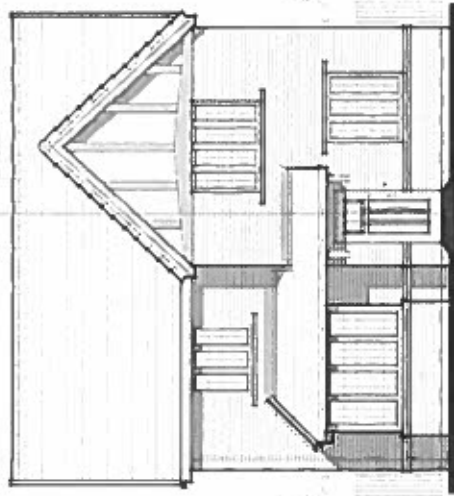
DATE: R REV:
SCALE: 1:100
DRAWN: M
CHECKED: M

13' 00" x
14' 00" x

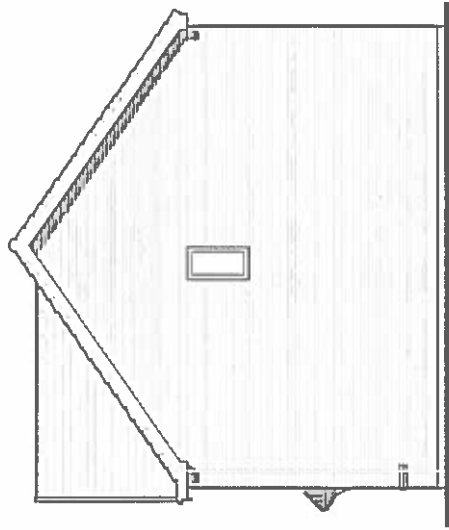
BLOOR HOMES[®]



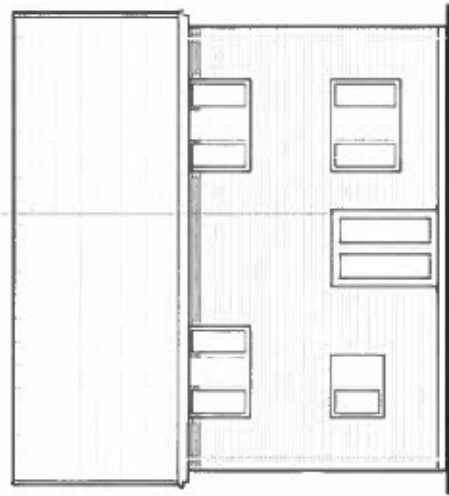
Scale 1:100



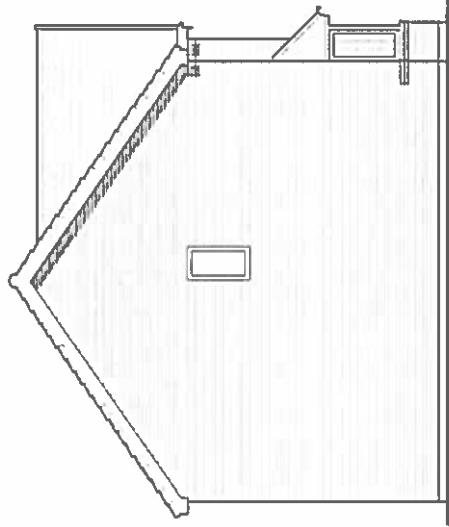
RO T V TIO



SID V TIO



R R V TIO



SID V TIO

an e

TUDOR

489-1.PL-03

DATE: R REV:

SCALE: M

DRAWN: M

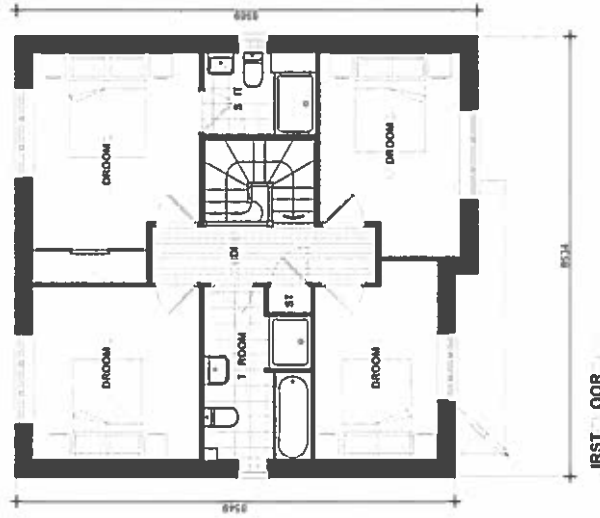
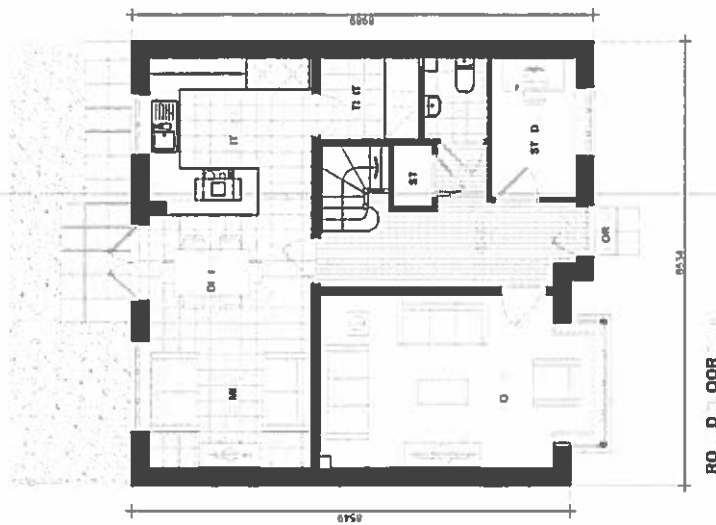
CHECKED: M

131.02 m²

1410 ft²

BLOOR HOMES

3110/5



3.10/T



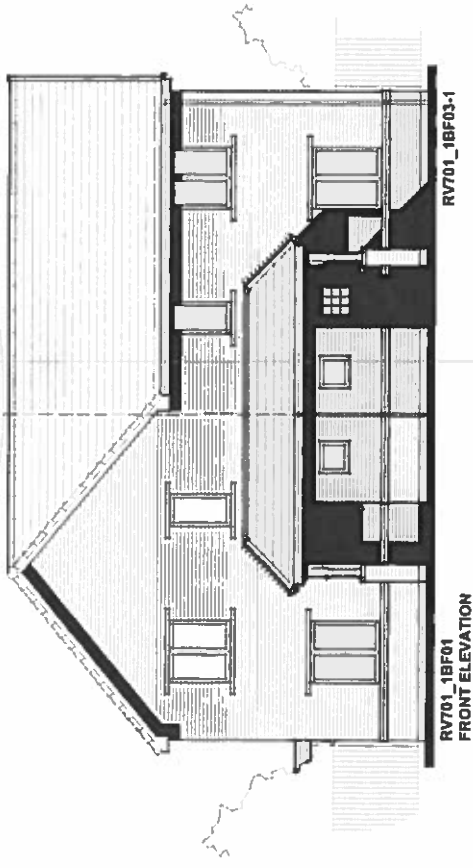
FLOOR PLANS
489-1.PL-06

DATE: 01/11/11 REV: 1
SCALE: 1/8" = 1'-0" DRAWN: M CHECKED: M
131.00 sq. ft. 410 sq. ft.

BLOOR HOMES



*HQI scores are based on minimum requirements.
Unit Size - 41, Unit Layout - 32, Unit Services - 22

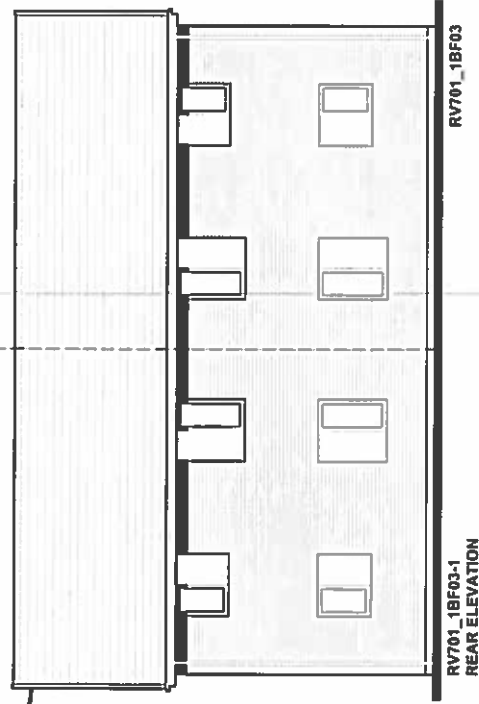


RV701_1BF01
FRONT ELEVATION

RV701_1BF03-1

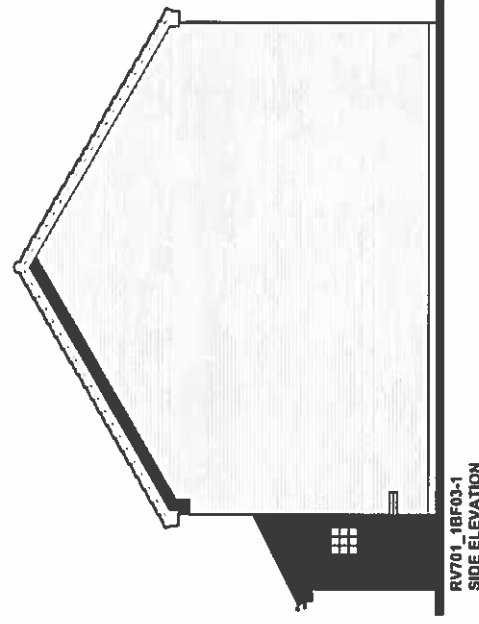


RV701_1BF03
SIDE ELEVATION



RV701_1BF03-1
REAR ELEVATION

RV701_1BF03



RV701_1BF03-1
SIDE ELEVATION

1BF01 - GROUND FLOOR

HQI* Unit Type: 45-50sqm.

HQI 5: 41% HQI 6: 56% HQI 7: 44%

1BF03 - GROUND FLOOR

HQI* Unit Type: 45-50sqm.

HQI 5: 41% HQI 6: 54% HQI 7: 49%

1BF01 - FIRST FLOOR

HQI* Unit Type: 45-50sqm.

HQI 5: 60% HQI 6: 60% HQI 7: 49%

1BF03 - FIRST FLOOR

HQI* Unit Type: 45-50sqm.

HQI 5: 79% HQI 6: 57% HQI 7: 49%

**Swift
Stein**

**BRICK
RV2.852.PL-01**

DATE: APR 2019

REV:

SCALE: 1:100 @ A3

DRAWN: MF

CHECKED: GPM

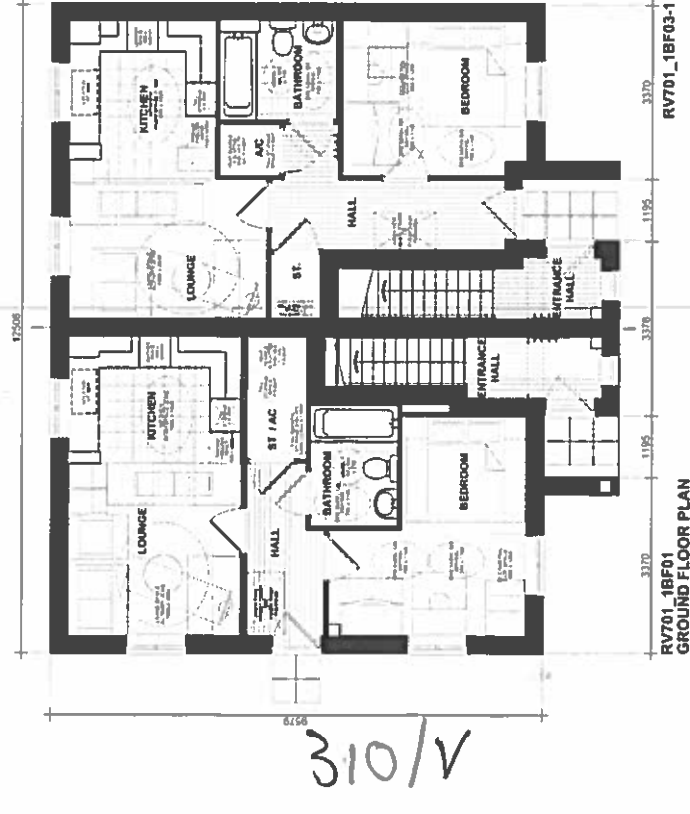
GF 45.32 / FF 57.12 m²

GF 45.23 / FF 56.04 m²

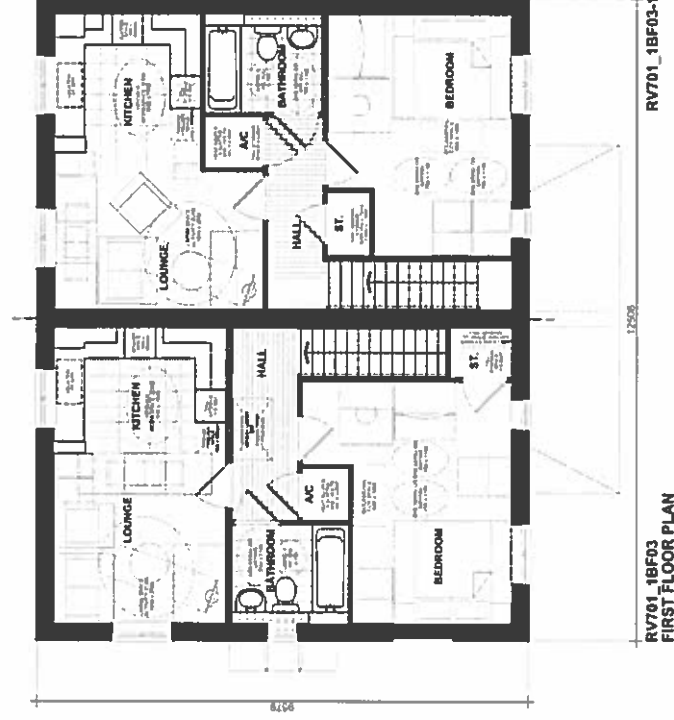
BLOOR HOMES



*HQI scores are based on minimum requirements -
Unit Size - 41, Unit Layout - 32, Unit Services - 22



310/V



**Swift
Stein
BRICK
RV2.852.PL-03**

DATE: APR 2019 REV:
SCALE: 1:100 @ A3
DRAWN: MF GF 45.32 / FF 57.12 m²
CHECKED: GPM GF 45.23 / FF 56.64 m²

BLOOR HOMES

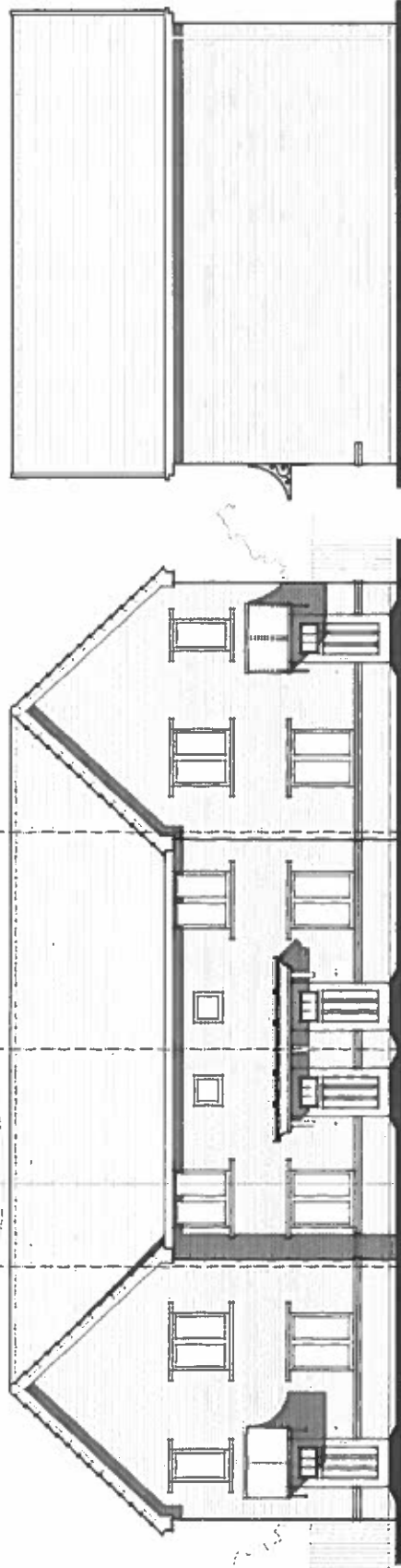
1BF03 - GROUND FLOOR
HQI* Unit Type: 45-50sqm.
HQI 5: 41% HQI 6: 54% HQI 7: 49%

1BF03 - FIRST FLOOR
HQI* Unit Type: 45-50sqm.
HQI 5: 79% HQI 6: 57% HQI 7: 49%



*HQI scores are based on minimum requirements -
Unit 5: 41% Unit 6: 56% Unit 7: 59%

310/w

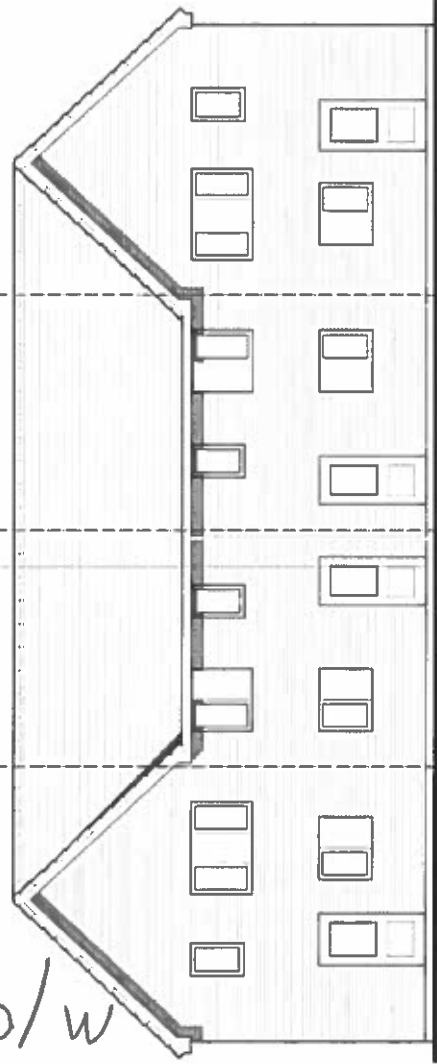


RO T V TIO

MT

MT

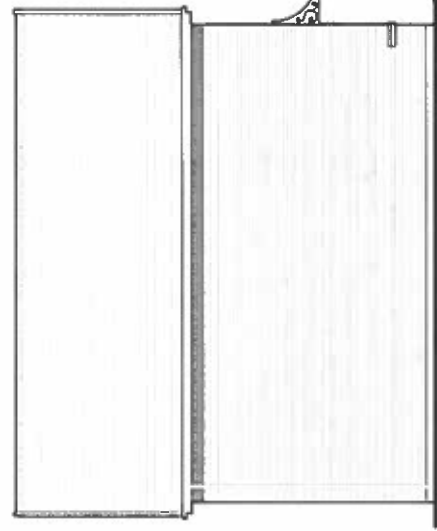
SID V TIO



R R V TIO

MT

SID V TIO



Sinair

Sore

BRICK

864.PL-01

DATE: R

SCALE: R

DRAWN: R

CHECKED: M

68 05m² / 82 21m²

73 31m² / 88 51m²

REV:

BLOOR HOMES

HQI* Unit Type: 75-85sqm.

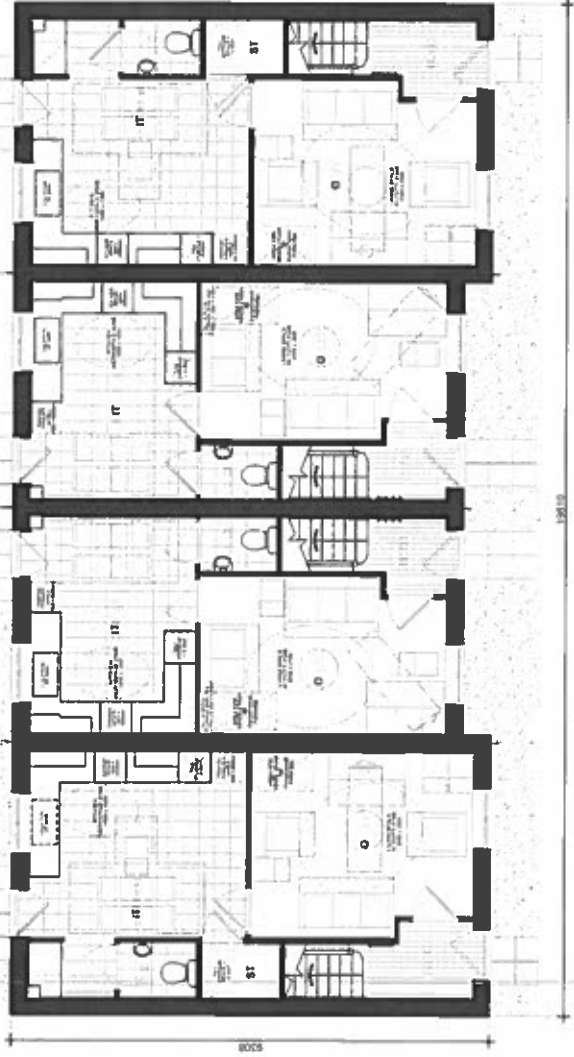
HQI 5: 41% HQI 6: 56% HQI 7: 59%

HQI* Unit Type: 67-75sqm.

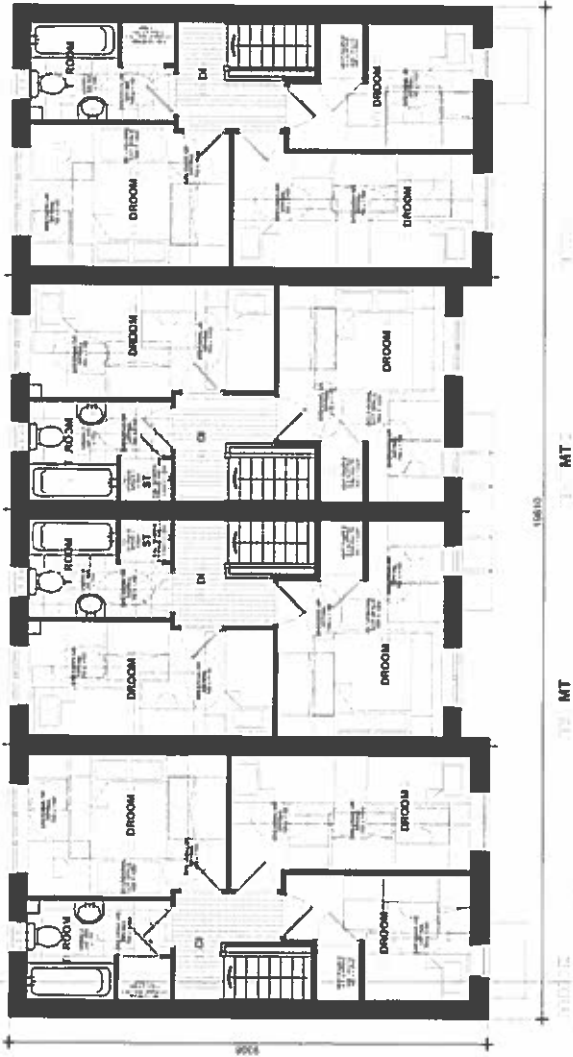
HQI 5: 41% HQI 6: 56% HQI 7: 59%



*HQI scores are based on minimum requirements -
 nt 31 e nt 31 e nt 31 e nt 31 e nt 31 e



RO D OOR MT MT



IRST OOR MT MT

310/X

Sinair
 Sorie

864.PL-03

DATE: R REV:

SCALE: 1:100

DRAWN: M

CHECKED: M

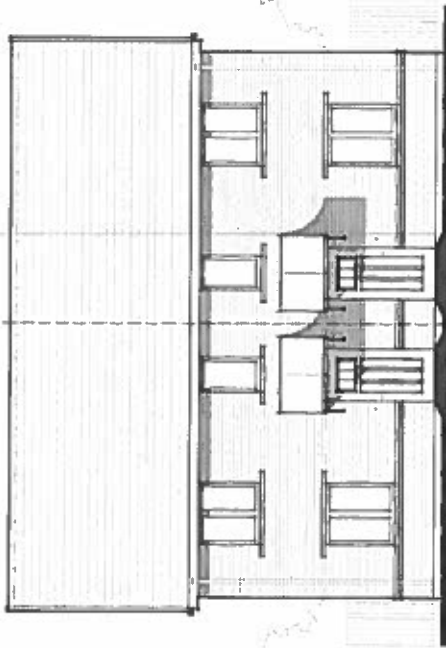
68 05m² / 72 21m²
 733m² / 8620m²

BLOOR HOMES

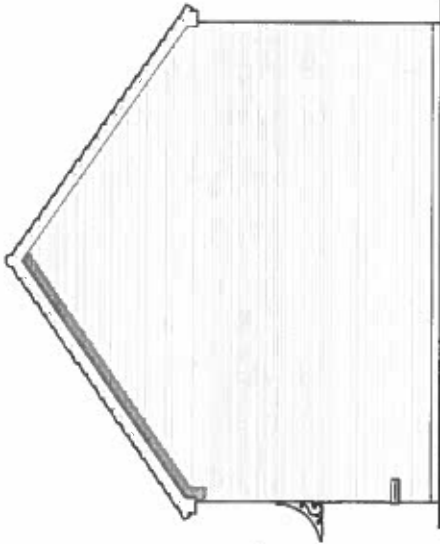
HQI* Unit Type: 67-75sqm.
 HQI 5: 41% HQI 6: 56% HQI 7: 59%
 HQI* Unit Type: 75-85sqm.
 HQI 5: 41% HQI 6: 56% HQI 7: 59%



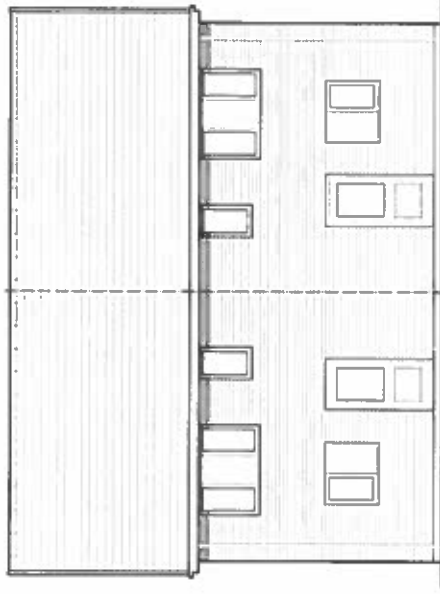
*HQI scores are based on minimum requirements:
 HQI 5: 41% HQI 6: 56% HQI 7: 59%



RO T V TIO

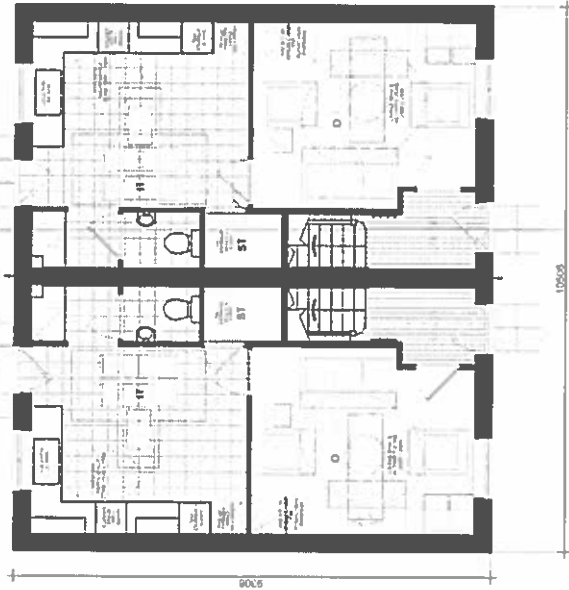


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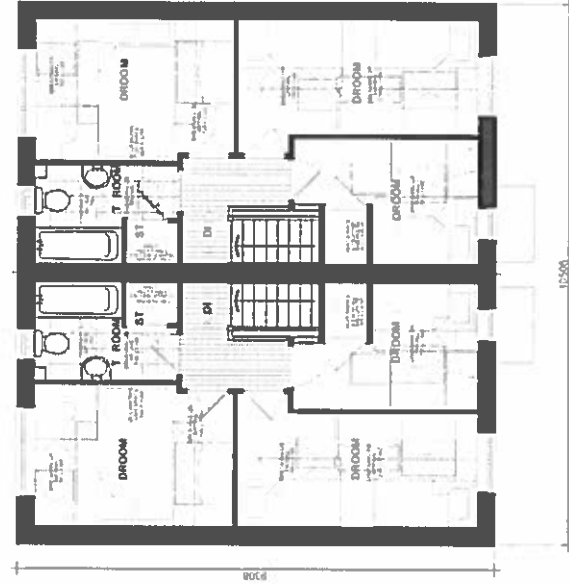


R R V TIO

3.10/4



RO D OOR



IRST OOR

Sore
 BRICK
 3B5P.PL-01

DATE: R REV:
 SCALE:
 DRAWN: M
 CHECKED: M

82.21m²
 885ft²

BLOOR HOMES

HQI* Unit Type: 75-85sqm.
 HQI 5: 41% HQI 6: 56% HQI 7: 59%

19/00688/FUL

35 Church Road, Bishops Cleeve,

5

Valid 26.07.2019

Proposed alteration of existing windows to create four display windows of the same height, lowering the bottom of 3 windows to main front section of building by 300mm and raising of cill to one window by 275mm to remove ATM slot. New windows and doors to side and rear.

Grid Ref 395997 227659
Parish Bishops Cleeve
Ward Cleeve West

RECOMMENDATION Permit

Policies and Constraints

National Planning Policy Framework; 2018 (NPPF)
Planning Practice Guidance
The Gloucester, Cheltenham and Tewkesbury Joint Core Strategy; 2017 (JCS)
Tewkesbury Borough Local Plan to 2011; March 2006 (TBLP)
Human Rights Act 1998 - Article 8 (Right to Respect for Private and Family Life)
The First Protocol, Article 1 (Protection of Property)
Conservation Area
Within 50m of listed buildings

Consultations and Representations

Bishops Cleeve Parish - Objection - Recognises some of the previous concerns have been met but it is concerned that the fenestration and proposed materials to the side of the building, along Church Approach, are not in keeping with the front of the building or character of the conservation area.

Conservation Officer - In summary No objection subject to conditions.

- the proposal is to lower the window sills of the main corner unit creating slightly lower sash windows This would not change the appearance of the building to a degree that would warrant an objection.
- Remodelling of elevation facing Church Approach. The degree of harm to heritage assets is outweighed by the public benefit.

Building Control - No comment

Members of the public - two letters of objection which can be summarised as follows:

- the doors to the rear open out are a hazard using the facilities of the parade of shops and parking of fire vehicles, the access is in constant use.
- windows on Church Approach would be intrusive to my property.
- cause additional traffic and parking of vehicles on Church Approach prevent access to their property.

Planning Officers Comments: Dawn Lloyd

18/01013/FUL

1.0 Introduction

1.1 This application relates to 35 Church Road Bishops Cleeve a building that has A2 use. The building is not listed but lies adjacent to the Bishops Cleeve Conservation Area and is close to a number of listed buildings.

1.2 The site is situated on a corner plot of Church Road and Church Approach in the service centre of the village. The building is single storey former bank and of individual design. It is constructed of coursed random rubble natural Cotswold stone with ashlar quoins and a hipped blue slate roof behind a stone parapet. The building sits in a prominent corner position within the village core with a dominant and impressive corner door set. The flanking walls have timber multi pane sash windows within stone surrounds, one of which has been lowered to accommodate a cashpoint. The range to the north is also of matching of coursed random rubble natural Cotswold stone with ashlar quoins. The openings in the West elevation of this range are less formal than the principal part of the building.

2.0 Relevant Planning History

2.1 Planning permission was granted for the bank in 60/00021/FUL Erection of a bank. Application 19/00327/FUL for the installation of new shopfront windows and doors to side of building. Installation of new shopfront windows to front of building. Installation of new doors to rear of building was refused on 24th June 2019.

3.0 Current Application

3.1 The application is for alterations to the internal space and to provide new windows and door openings to the elevations. The main entrance remains unaltered and the adjacent windows on the corner elevations are similar in design to the original with lower cils. The North West elevation has new windows and doors and alteration to the existing. New doors are proposed to the rear. The plans have been submitted following discussion with our Conservation Officer.

3.2 The current application seeks the changes for a building with a use class of A2. However, it should be noted that the change use to from A2 to A1 under Class E part 3 and A2 under Class G, c of The Town and Country Planning (General Permitted Development) (England) Order 2015 (amended) is permitted development if the development consisting of a change of use of a building with a display window at ground floor level. It is considered that the proposed windows would constitute display windows. The implication of permitting this application would be, therefore, that the use of the converted building could change to an A1 (Shops) without the need for planning permission.

3.3 The proposal is for alterations to the building within the existing use class A2 therefore the application will be assessed with regard to design, impact on amenity and heritage.

4.0 Analysis

4.1 The main issues to be considered are the principle of the development, the design and impact on heritage assets.

Principle of the development

4.2 The site is located within the retail centre of Bishops Cleeve, an A2 or A1 use is acceptable within this area. The site is located just outside the Conservation Areas and is in close proximity to listed buildings.

Design

4.3 Policy SD4 of the JCS states that development should respond positively to and respect the character of the site and its surroundings. The building is in a prominent position in the High Street and is a focal building of character. The main entrance door is retained and the windows on this important corner are of a similar design to the existing.

4.4 New windows and doors are proposed to the north west elevation, existing openings are less formal than the principal part of the building. This area of the building is of natural stone and largely a blank wall. The proposal is disappointing in respect of the loss of this expanse of stonework however, the detail of the design appears to show that the new windows and doors would have stone or artificial stone surrounds and would remain within a stone wall.

4.5 The proposal is considered to be appropriate to the retail centre in design and the formal character of the landmark building is retained. The design and materials represent high quality and are considered to be appropriate to the character of the area in accordance with SD4.

Impact on the Historic Environment

4.6 Alterations to existing buildings should pay attention to the historic context, distinctive features of the locality and should use materials of high quality suited to their location and detailing. Section 72 of the Listed Buildings and Conservation Areas Act requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of that area. Policy SD8 states that developments are required to preserve or enhance the character or appearance of the conservation area in terms of scale, form, materials and quality.

4.7 Saved policy HEN2 of the Tewkesbury Local Plan states that in proposals for development within or in close proximity to a conservation area particular attention should be paid to the developments impact on the conservation area and its setting including any existing trees.

4.8 The Conservation Officer considers that due to the location, design, details and materials the building provides a positive and prominent visual presence within the streetscene and within the setting of the listed buildings both within and outside the conservation area and important views into the conservation area from Church Road. As such, despite being a 20th Century building it is considered to have a degree of local heritage significance and holds communal value within the streetscene. The proposal is therefore assessed against section 16 of the National Planning Policy Framework, JCS policy SD8 and Local Plan policy HEN2.

4.9 The proposal is to lower the window sills of the main corner unit creating slightly lower sash windows. This would not change the appearance of the building to a degree that would warrant an objection.

4.10 The proposal also includes remodelling of the street facade of the rear facing on to Church Approach. The remodelling includes the introduction of two doorways and five large windows. This area of the building is of natural stone and largely a blank wall. The proposal is disappointing in respect of the loss of this expanse of stonework however, the detail of the designs appear to show that the new windows and doors will have stone or artificial stone surrounds and would remain within a stone wall. A condition requiring proposed materials and design details is recommended.

4.11 Paragraph 197 states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.

4.12 In addition the degree of harm, in considering an application which affects the setting of a heritage asset Sections 66 and 72 of the Listed Building and Conservation Act apply. The Authority shall have regard to the desirability of preserving feature of special architectural or historic interest and pay special attention to the desirability to preserving or enhancing the character or appearance of that area.

4.13 The remodelling of the street facade of the elevation facing onto Church Approach with the installation of new doorways and windows would generate a degree of less than substantial harm to heritage assets. It is concluded on this matter that the public benefit of the increased provision of commercial premises and the securing the future of the vacant building, outweigh the harm to heritage assets.

Impact on Residential Amenity

4.14 Policies HOU 8 and SD4 state that development should avoid or mitigate for the potential disturbances, including visual intrusion, noise, smell and pollution.

4.15 A neighbour objection has been received regarding the windows on Church Approach. The effect of the proposal on residential amenity has been carefully considered. There are existing windows and doors on the side elevation closest to residential properties. Due to the orientation of the properties, separation and existing screening the impact from direct overlooking is not considered of substantial harm.

Highway Safety

4.14 Policy INF 1 of the JCS developers should provide safe and accessible connections to the highways network to enable safe travel choices for residents and commuters. Planning permission will only be granted where the impact of the development is not considered severe.

4.15 The proposed door on the rear elevation opens on to the access to the service area for the adjacent retail units. A neighbour objection has been received as this proposes a risk to pedestrian safety. However, this area is a private space with no public right of way. Therefore, the proposal is not considered detrimental in terms of pedestrian safety.

5.0 Summary

5.1 Taking into account all of the above, the proposal is considered on balance to be acceptable and in accordance with the relevant policies of the adopted development plan, and it is therefore recommended that planning permission be permitted subject to the following conditions.

RECOMMENDATION Permit

Conditions and reason:

- 1 The development hereby permitted shall be begun before the expiration of five years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 19

- 2 Except where varied by conditions below, the development hereby permitted shall be carried out in accordance with the details within the application form and approved plans/drawings:
 - Proposed Elevations Drawing Number EL402
 - Proposed Ground Floor Plan Drawing Number FP 301
 - Proposed Site Plan Drawing Number SP 201received on 5th July 2019.

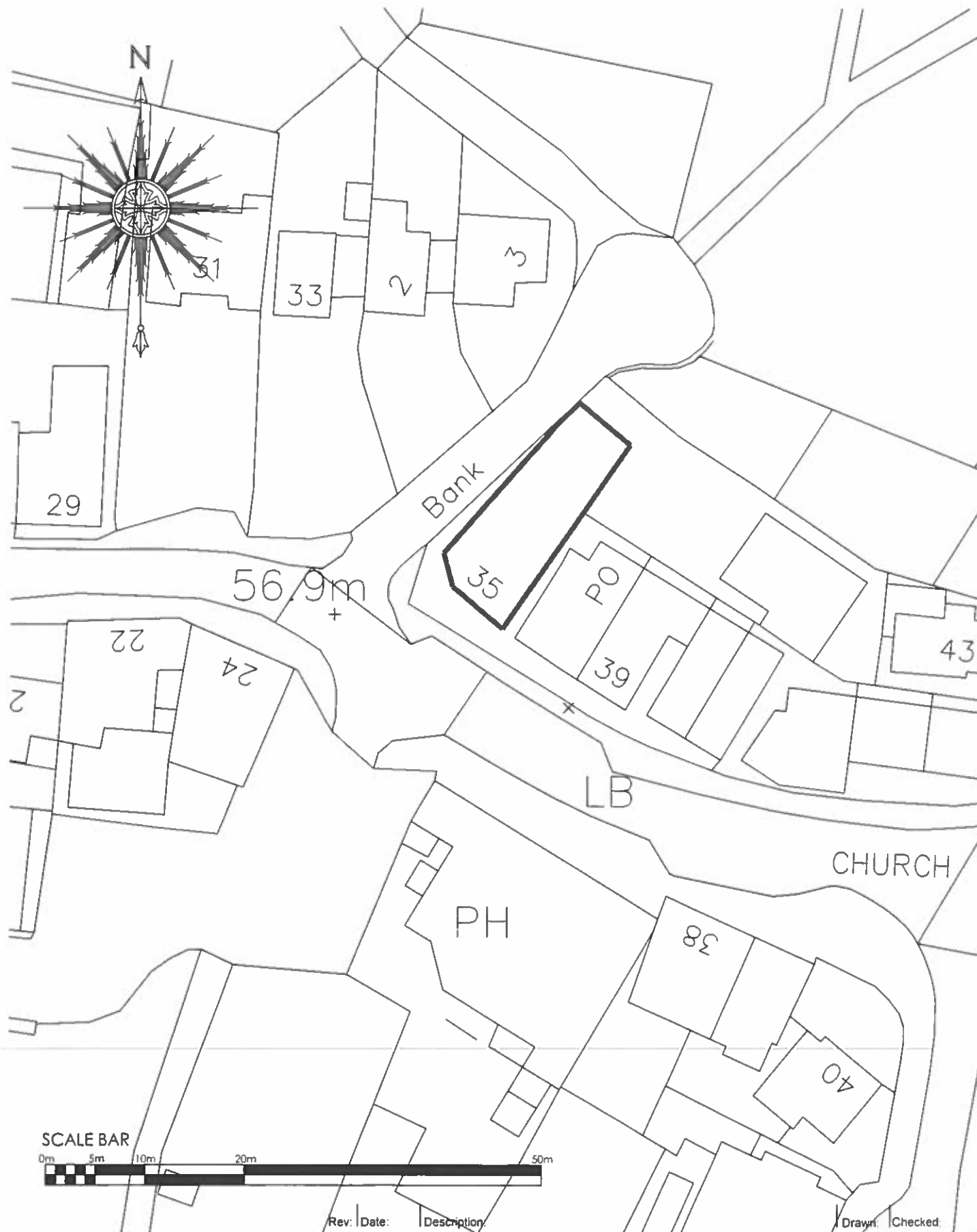
Reason: To ensure that the development is carried out in accordance with the approved plan

- 3 Notwithstanding the submitted plans, prior to the installation of the windows, doors, sills and heads hereby approved full details are required to be submitted and agreed in writing with the local planning authority. Details of the windows, doors, sills and heads to include scaled cross section drawings and materials including colour. The windows, doors, sills and heads shall conform to the approved details

Reason: To prevent adverse visual impact on the Conservation Area and streetscene

Notes:

- 1 In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner offering pre-application advice, detailed published guidance to assist the applicant and published to the council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.



CPLC

ASSOCIATES
The Bungalow, 87a Station Road
Bishops Cleeve, Cheltenham, GL52 8HJ.
Telephone : 01242 672 333
cplc@cplc-associates.com

Rev: Date: Description:

Project/Client:
35 Church Road, Bishops Cleeve
GL52 8NE

Drawing:
Location Plan **314/A**

Drawn: Checked:

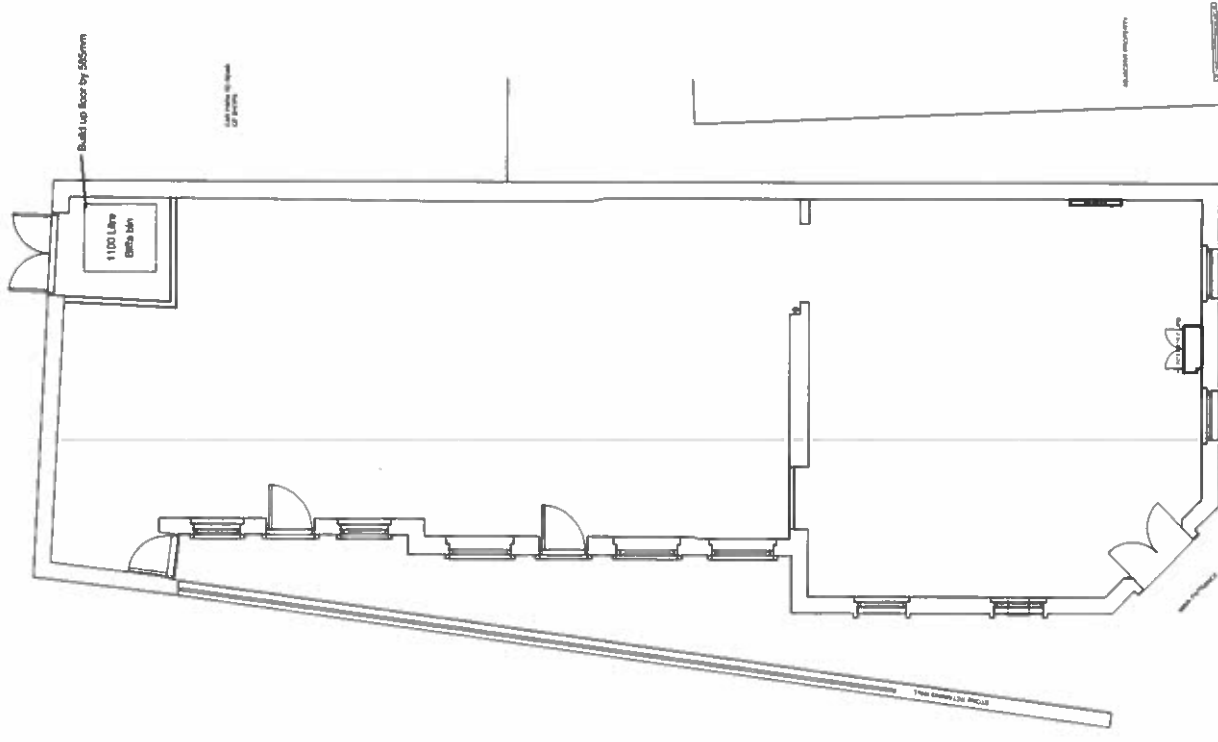
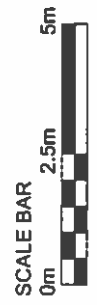
Drawn By: Date: Checked By:
MAC 21.02.2019

Scale: 1:500@A4	Drawing No: LP 100	Revision:
Project No: 1859		

314/B

CHURCH APPROACH ROAD

STONY WETLANDS ROAD

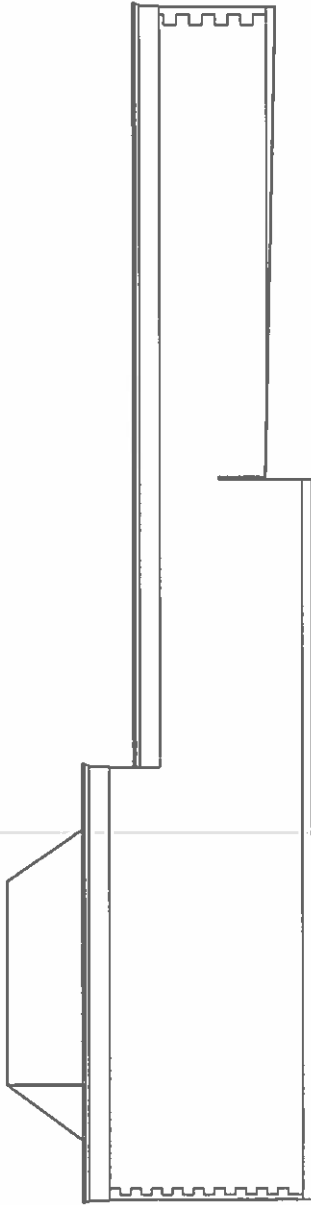


Rev: Side windows adjusted 05/07/2018

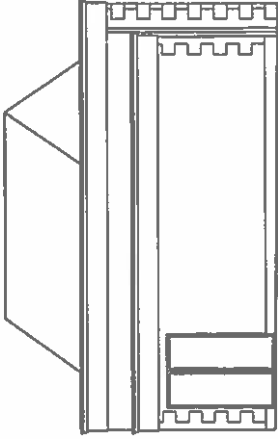
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			Scale:	Revision:
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			Project No:	
			1859	
			Drawing:	
			Proposed Ground Floor Plan	

CPLC
A S S O C I A T E S
The Bungalow, 87a Station Road
Bishops Cleeve, Cheltenham, GL52 8HJ.
Telephone : 01242 672 333
cpic@cplc-associates.com

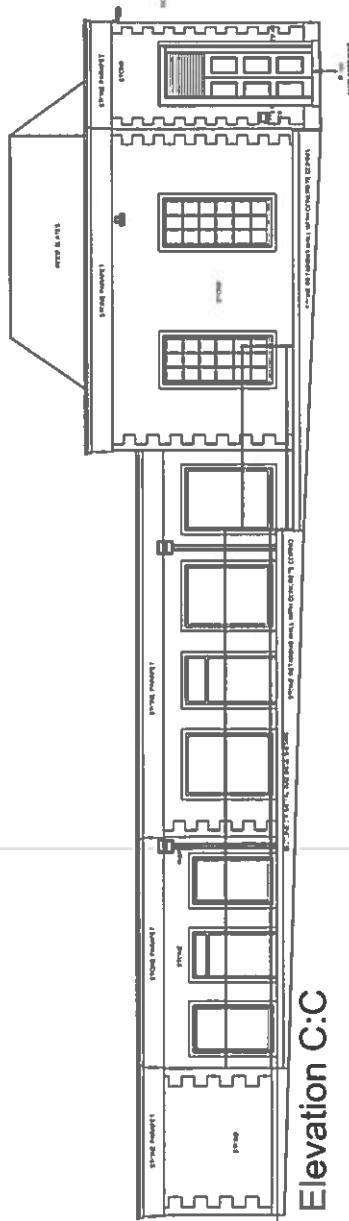
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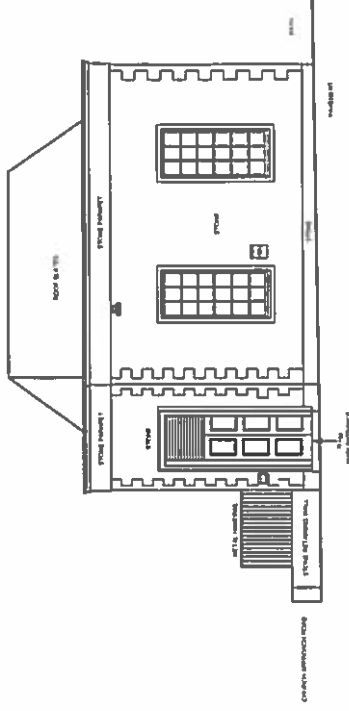
Elevation A:A



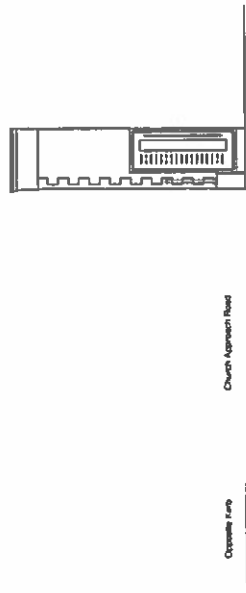
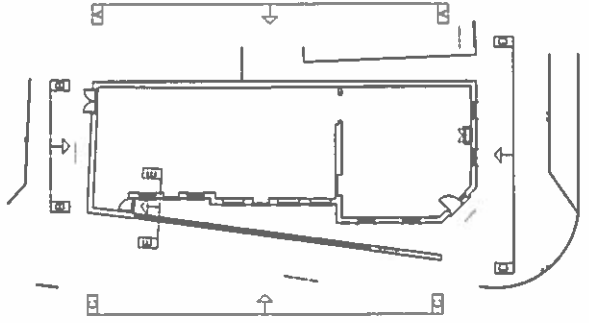
Elevation B:B



Elevation C:C



Elevation D:D



Elevation E:E

Rev: Date: Description:

Project/Client:

35 Church Road, Bishops Cleeve

GL52 8NE

Drawing:

Proposed Elevations

Drawn: Checked:

MAC

24.10.2018

Scale:

1:100@A3

Project No:

1859

Drawing No:

EL402

Revision:

CPLC
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cplc@cplc-associates.com

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314/C

Valid 13.08.2018

Change of Use of existing self-contained living accommodation and garage and store room as annexe to Woodfold Court to Detached Dwelling

Grid Ref 386933 222486
Parish Down Hatherley
Ward Innsworth With Down
Hatherley

RECOMMENDATION Delegated Permit

Policies and Constraints

National Planning Policy Framework (2019)
Planning Practice Guidance
Joint Core Strategy (2017) - SD4, SD5, SD9, SD10, INF1
Tewkesbury Borough Local Plan to 2011 (March 2006) - AGR6, AGR7
Human Rights Act 1998 - Article 8
The First Protocol - Article 1
Green Belt

Consultations and Representations

Down Hatherley Parish Council - Object to the application for the following reasons:

Previous application history is unclear;

A separate property being established in the Green Belt;

The subdivision of properties by separating off converted outbuildings has no history within the Green Belt in Down Hatherley;

Concerned the application would set an unwelcome precedent.

County Highway Authority - Awaiting final comment.

Environmental Health Officer - Locating dwellings in close proximity to agricultural buildings may adversely impact the amenity of residents due to possible noise. Odour and pests.

Local Residents - None received.

Planning Officers Comments: Victoria Stone

1.0 Application Site

1.1 This application relates to a parcel of land and detached outbuilding which currently form part of the residential curtilage of Woodfold Court, off Down Hatherley Lane, in Down Hatherley (see attached location plan).

1.2 The application site is irregular in shape and measures approximately 0.04 hectares. The site is bound to the south and west by residential properties, agricultural barns to the north and open countryside to the east.

1.3 The site comprises a single storey pitched roof L-shaped former stable building with a single storey corrugated tin sheeting store and canopy on the rear elevation. The building has a maximum width of 19 metres and a maximum depth of 12.5 metres.

1.4 The building is set back off the road by approximately 18 metres and located immediately to the north of Woodfold Court. In 1995 planning permission was granted for the conversion of the stable block to annexe accommodation to be used ancillary to the host dwelling, Woodfold Court. The building is currently used in part as accommodation, the remainder used for storage.

1.5 Access to the building is via an existing drive leading from Down Hatherley Lane.

1.6 The site is located within the Green Belt.

2.0 Planning History

2.1 95/00516/FUL - Conversion of existing stable building to form residential - Permitted 25 July 1995.

2.2 16/01228/FUL - Two storey rear extension, single storey front extension, new fenestration and render and complete re-location of access to lane - Permitted 15 December 2016.

3.0 Current Application

3.1 This application is submitted in full for the renovation of the outbuilding and conversion of the annexe and storage areas to provide a detached dwelling.

3.2 The works to be undertaken include the demolition of the two structures on the north facing elevation; internal rearrangements; the roof of the current store/garage would be raised so that it would be in line with the ridge height of the remaining part of the building; a number of changes to the fenestration details and the building would be re-clad in untreated feather-edge cladding. The overall footprint and volume of the building, other than the two stores to be removed, would remain the same as existing.

3.3 The accommodation would provide three bedrooms, an en-suite, separate shower room, a kitchen/dining room and a lounge. The property would benefit from a front and rear garden area and two off-road parking spaces. The plans submitted demonstrate vehicular access to the building would be in accordance with a previously approved scheme at the site for the re-location of the access, under ref: 16/01228/FUL.

4.0 Policy Context

4.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.

4.2 The Development Plan comprises the Joint Core Strategy (JCS) (2017) and saved policies in the Tewkesbury Borough Local Plan to 2011 (March 2006) (TBLP).

4.3 The Pre-Submission version of the Tewkesbury Borough Plan (PSTBP) was approved for publication and submission at the Council meeting held on 30 July 2019. On the basis of the stage of preparation the plan has reached, and the consistency of its policies with the NPPF, the emerging policies of the plan can be afforded at least moderate weight, subject to the extent to which there are unresolved objections to each individual policy (the less significant the unresolved objections, the greater the weight that may be given).

4.4 Other material policy considerations include national planning guidance contained within the National Planning Policy Framework.

4.5 The Down Hatherley, Norton and Twigworth Neighbourhood Development Plan 2011-2031 (NDP) came into legal force in May 2019 and therefore now forms part of the statutory Development Plan. There are no policies within the plan related to proposals for the conversion of existing buildings or the sub-division of existing properties.

4.6 The relevant policies are set out in the appropriate sections of this report.

5.0 Analysis

Principle of the development

5.1 The principle of the change of use and the associated conversion works of the former stable building to a residential use, albeit as an ancillary domestic use, has already been established through the grant of planning permission 95/00516/FUL. The building, subject to this application, is located in the residential curtilage of Woodfold Court and therefore this proposal seeks permission for the sub-division of Woodfold Court to provide an additional residential unit.

5.2 Down Hatherley is not listed as a Rural Service Centre or a Service Village within Table SP2c of the JCS. Therefore part 6 of Policy SP2 (Distribution of New Development) becomes relevant, as it sets out "in the remainder of the rural area, Policy SD10 (Residential Development) will apply to proposals for residential development."

5.3 Policy SD10 of the JCS advises that housing on sites which are not allocated for housing in district and neighbourhood plans, will be permitted if it meets certain limited exceptions. One of those exceptions at (4.iv) is if '*There are other specific exceptions/circumstances defined in district or neighbourhood plans.*'

5.4 In this case saved Policy HOU9 (Conversions/Sub-Division) of the TBLP is directly relevant to this proposal as it provides for the conversion or sub-division of existing dwellings to provide an increased number of residential units. Within the reasoned justification it states that proposals involving the conversion of outbuildings within the curtilage of any existing dwelling should be considered under this policy and will be considered acceptable in principle subject to compliance with other material planning considerations. This includes the design of the proposal, the effects on living conditions of existing and future occupants and impact upon highway safety.

5.5 Policy RES8 (Sub-division of existing dwellings) of the PSTBP is the relevant emerging policy. This provides for the sub-division of existing dwellings into two or more self-contained residential units. This policy requires adequate sized internal accommodation to be provided, and where proposals are located outside defined settlement boundaries, which is the case for this application, the proposal should not involve significant new extensions.

5.6 It should also be noted that Paragraph 79 of the NPPF supports the subdivision of an existing residential dwelling in rural areas.

5.7 However, the site is located in the Green Belt therefore the significance of the impact of the development upon the Green Belt must be considered in assessing whether the principle of the development is acceptable.

Council's 5 Year Housing Land Supply

5.8 Paragraph 11 of the NPPF which sets out that plans and decisions should apply a presumption in favour of sustainable development. For decision making this means:

*(c) approving development proposals that accord with an up-to-date development plan without delay; or
(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
(ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.*

5.9 The NPPF clarifies (footnote 7) that planning policies for housing will be judged out of date, inter alia, where the local planning authority cannot demonstrate a 5 year supply of deliverable housing sites.

5.10 The latest published evidence (the Tewkesbury Borough Five Year Housing Land Supply Statement - March 2018 Update) concludes that the Council can demonstrate a 5.22 year supply. Nevertheless work is progressing on the annual Authority Monitoring Report (AMR), which provides the evidence for the Five Year Land Supply Statement. Whilst the AMR is not yet published, it is now clear that in respect of the 31 March 2019 base date data, the Council is not able to show a five year supply of deliverable housing sites and as a result can no longer demonstrate a five year supply of deliverable housing sites. The latest available information indicates that the Council can demonstrate a 4.33 year supply of deliverable housing sites, amounting to a shortfall of approximately 223 dwellings.

5.11 On the basis that the Council cannot at this time demonstrate a five year supply of deliverable housing sites, the Council's policies for the supply of housing are considered to be out-of-date having regard to paragraph 11 of the NPPF. In these circumstances, as set out above, the NPPF advises that the presumption should be that planning permission is granted unless the application of policies in the NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or there are adverse impacts of doing so which would significantly and demonstrably outweigh the benefits, when assessed against the policies of the NPPF taken as a whole.

5.12 As the site is within the designated Green Belt, a judgment must be made as to whether the proposal would be harmful to the Green Belt and whether any impacts provide a clear justification for refusing permission, before a judgment can be made as to whether the 'tilted balance' applies. This is considered in detail in the 'Impact on the Green Belt' section below.

Impact upon the Green Belt

5.13 Policy SD5 of the JCS sets out that, to ensure the Green Belt continues to serve its key functions, it will be protected from harmful development. Within its boundaries, development will be restricted to those limited types of development which are deemed appropriate by the NPPF, unless it can be demonstrated that very special circumstances exist to outweigh the harm automatically caused to the Green Belt by virtue of the development being inappropriate and any other harm actually caused.

5.14 The NPPF provides that, as with previous Green Belt policy, inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Paragraph 144 of the NPPF provides that when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations.

5.15 Paragraph 146 of the NPPF sets out that the re-use of buildings provided they are of permanent and substantial construction would not be inappropriate development, subject to the proviso that the development should preserve its openness and not conflict with the purposes of including land within it. As such the structural state of the building, the harm to the openness and the purposes of including land as Green Belt must be considered to establish if the development would be harmful by reason of inappropriateness.

Structural state of the building

5.16 Whilst no structural survey has been submitted with the application, the building appears to be in a sound condition therefore it is reasonable to conclude the building is of a permanent and substantial construction.

Preservation of openness

5.17 This proposal seeks permission for the change of use of an existing building. No extensions to the building or external storage is proposed therefore the use of the building as an independent residential unit should have no appreciable impact on the Green Belt's openness. It is however appropriate to consider any impact on openness resulting from the associated development which in this case includes the access drive, parking area, fencing and potential domestic paraphernalia in the proposed garden area.

5.18 As mentioned previously, the site forms part of the residential curtilage of Woodfold Court and the land is currently grassed. The proposal, by introducing a new parking area, would, given openness is a matter of physical presence rather than its visual qualities, materially impinge on the current openness of the garden when in use, albeit very modestly.

5.19 However, of importance in this case, is that all elements of the associated development, (listed above) could at any point be installed/constructed under permitted development rights (subject to certain conditions) by the occupiers of the existing property. Further, it should be noted that the demolition of the two structures on the north facing elevation of the building would enhance the openness of the Green Belt.

Purposes of including land as Green Belt

5.20 The Green Belt serves five purposes:

- To check the unrestricted sprawl of large built-up areas;
- To prevent neighbouring towns merging into one another;
- To assist in safeguarding the countryside from encroachment;
- To preserve the setting and special character of historic towns; and
- To assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

5.21 The use of the building and land, due to the considered scale and design, would not materially conflict with any of the purposes set out above.

Inappropriate development in the Green Belt

5.22 In light of the above, as the proposal would fail to preserve the openness of the Green Belt it therefore follows that the development would represent inappropriate development in the Green Belt. Inappropriate development, which by definition, is harmful to the Green Belt and should not be approved except in very special circumstances.

Very Special Circumstances

5.23 The applicant hasn't advanced very special circumstances however it is considered that the strong fall-back position in respect to the fact the land already constitutes residential curtilage and the applicant could carry out the associated works required for the development under permitted development in association with the existing dwelling, would represent very special circumstances.

Conclusion of Green Belt Matters

5.24 Given the above, it is considered that very special circumstances exist to outweigh the potential very modest harm to the Green Belt by reason of inappropriateness.

5.25 As very special circumstances exist to outweigh the limited harm to the openness of the Green Belt the application of the Green Belt policies in the NPPF does not provide a clear reason for refusing the development proposed. As such, in accordance with paragraph 11 of the NPPF the 'tilted balance' applies and planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF taken as a whole.

Design

5.26 The NPPF sets out that the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. Policy SD4 of the JCS advises that new development should respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness, and addressing the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting. Saved Policy HOU9 of the TBLP requires the character of the existing building to be respected.

5.27 The existing outbuilding is L-shaped single storey with a pitched roof. The external materials comprise a combination of timber cladding and brick, the roof is tiled. The proposed development would utilise the footprint of the existing outbuilding and does not proposed any extensions in order to facilitate the conversion of the building to a dwellinghouse. The basic shape and form of the building, which includes the height, width and depth of the building remain unchanged. There would be minimal alterations to the external appearance of the building, with the most notable changes relating to the ridge height of the store/garage and to the fenestration on all elevations. These alterations are deemed to be acceptable and would be in keeping with the character and appearance of the existing building.

5.28 The sub-division of the plot would result in two smaller plots however there are other plots in Down Hatherley of a similar size. The division of the plot would still provide satisfactory garden space to serve both the new dwelling and the host dwelling. There are other properties set back from Down Hatherley Lane therefore no objection is raised to the location behind the host dwelling.

5.29 For the above reasons, it is considered the conversion works and resulting design and layout of the proposed development would be appropriate to the site and its setting and therefore would accord with Policy HOU9 of the TBLP, SD4 of the JCS and guidance set out in the NPPF.

Impact upon visual amenity

5.30 The existing building is set back approximately 18 metres from the roadside and behind the host dwelling therefore would not be seen readily. As such, the development would have minimal impact upon the visual amenity of the locality.

Impact upon residential amenity

5.31 In respect of the impact of the development upon residential amenity, paragraph 127 of the NPPF specifies that planning decisions should ensure development creates places with a high standard of amenity for existing and future users. This advice is reflected in JCS policies SD4 and SD14 which require development to enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space. Development should have no detrimental impact on the amenity of existing or new residents or occupants. Policy HOU9 of the TBLP states that the residential amenity of nearby properties should not be adversely affected.

5.32 The proposal has carefully been assessed in terms of residential amenity and living standards for existing and future occupants. There is approximately 11 metres separation between the south facing elevation of the existing outbuilding and the existing dwelling on the site, Woodfold Court. The submitted plans demonstrate that the two inward facing elevations (south and west) would be void of any openings; this is to prevent any direct overlooking issues between the two properties. In addition, the private garden space to serve any future occupiers would be located to the north of the building thus the garden area would be screened.

5.33 The Environmental Health Officer has been consulted on the application given the close proximity of the site to three barns to the north of the site. The EHO considers locating dwellings in close proximity to agricultural buildings may adversely impact the amenity of residents due to possible noise, odour and pests. However, the proposal does not seek permission for a new dwelling but the re-use of an existing building which already benefits from an ancillary residential use.

5.34 In light of the above, it is considered the proposed conversion should not have a significant harmful impact upon the amenities of the host dwelling nor upon the occupiers of the new dwellings.

Highway Safety

5.35 Policy INF1 of the JCS advises that proposals should ensure safe and efficient access to the highway network is provided for all transport modes and that the impact of development does not have a severe impact upon the highway network. Saved policy HOU9 states the proposal should not result in an unacceptable level of vehicular movements which would adversely affect the safety or satisfactory operation of the highway network. It also requires appropriate standards of parking and pedestrian, cycle and vehicle access to be provided.

5.36 The plans submitted demonstrate a new vehicular access to the building would be provided in line with an extant permission at the site for the re-location of the access, under ref: 16/01228/FUL. In terms of parking provision, the submitted plans demonstrate sufficient vehicular parking space and adequate turning/manoeuvring space to enable vehicles to exit the site in a forward facing gear.

5.37 Given the development would utilise an approved vehicular access and as the proposal would only result in the net gain of one dwelling at the site it is considered the development should not cause a severe impact upon the highway network. However, ongoing discussions are currently taking place with County Highways in respect to improving the visibility from the previously approved access given the development may increase the level of vehicular movements and therefore **Members will be provided with an update accordingly.**

Ecology

5.38 The NPPF sets out, inter alia, that planning decisions should minimise impact on and providing net gains for biodiversity. Policy SD9 of the JCS seeks to protect and enhance biodiversity in considering development proposals.

5.39 As the proposal would include the removal and replacement of part of the roof to provide a single, rather than stepped, ridge-line on the building a Preliminary Ecological Appraisal and a Bat Emergence and Re-Entry Surveys Report, both prepared by Collins Environmental Consultancy Ltd were submitted as part of the application.

5.40 The survey found no evidence of use of the building by roosting bats, consequently the report concluded the outbuildings and surroundings are considered unlikely to support protected or notable species, other than the potential seasonal presence of nesting birds. Mitigation measures are proposed in respect to nesting birds and therefore providing these are implemented the proposal should not result in adverse impacts to bats or birds. A condition ensuring the mitigation measures set out in the Emergence and Re-Entry Surveys Report is recommended.

Drainage

5.41 JCS Policy INF2 advises that development proposals must avoid areas at risk of flooding and must not increase the level of risk to the safety of occupiers of a site and that the risk of flooding should be minimised by providing resilience and taking into account climate change. It also requires new development to incorporate Sustainable Urban Drainage Systems (SUDS) where appropriate to manage surface water drainage. This is reflected in emerging PSTBP policy ENV2.

5.42 The application site is location within Flood Zone 1 (low risk) as defined by the Environment Agency's most up-to-date flood risk maps. Given the nature of the proposal (conversion of an existing building rather than a new build) it is reasonable to conclude that the development is unlikely to be at risk of flooding or increase the risk of flooding to the local community or the wider environment.

6.0 Conclusions

6.1 Taking into account all of the above, the proposed conversion of the existing ancillary accommodation/store/garage at Woodfold Court to a separate dwellinghouse would accord with the requirements of saved Policy HOU9 of the TBLP. No adverse impacts of granting planning permission have been identified and therefore in accordance with paragraph 11 of the NPPF it is recommended that **the grant of permission be delegated to the Technical Planning Manager subject to resolution of the outstanding highway matter and the addition to/amendment of planning conditions as appropriate.**

RECOMMENDATION Delegated Permit

Conditions:

- 1 The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
- 2 Unless where required or allowed by other conditions attached to this permission/consent, the development hereby approved shall be carried out in accordance with the information provided on the application form and the following plans/drawings/documents:
 - 18.46.01A - Annexe Survey Drawing (including Location Plan)
 - 18.46.02C - Planning Proposals
 - 18.46.05A - Visibility Splay Details
- 3 Prior to its/their installation as part of the development hereby approved, a specification of the materials and finish for the external walls and roofing proposed to be used shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out using the materials as approved.
- 4 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), there shall be no window openings or roof lights in the south and west facing elevation/roof slope of the dwelling hereby approved without the prior express permission of the Local Planning Authority.
- 5 The development hereby permitted shall be carried out in strict accordance with the recommendations set out in Section 7 (Recommendation for Mitigation and Further Survey) of the Bat Emergence and Re-Entry Survey Report, carried out by Collins Environmental Consultancy Ltd, dated May 2019 and submitted with this application.

- 6 Throughout the conversion work period of the development hereby permitted provision shall be within the site that is sufficient to accommodate the likely demand generated for the following:
- i. parking of vehicles of site operatives and visitors;
 - ii. loading and unloading of plant and materials;
 - iii. storage of plant and materials used in the conversion works;

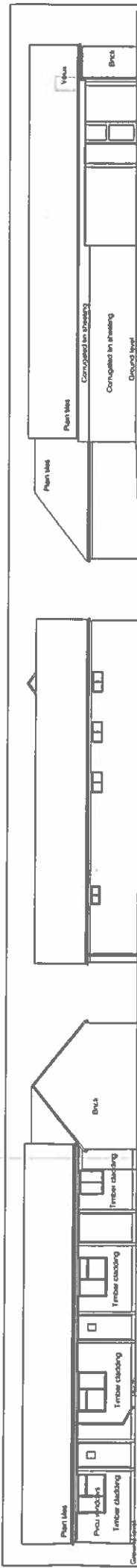
Reasons:

- 1 To comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
- 2 To define the permission.
- 3 To ensure that the new materials are in keeping with the surroundings and/or represent quality design.
- 4 To protect the amenity of neighbouring residents and future occupiers of the dwelling hereby approved.
- 5 To ensure the development contributes to the conservation and enhancement of biodiversity within the site and the wider area.
- 6 To reduce the potential impact on the public highway and accommodate the efficient delivery of goods.

Notes:

1 Statement of Positive and Proactive Engagement

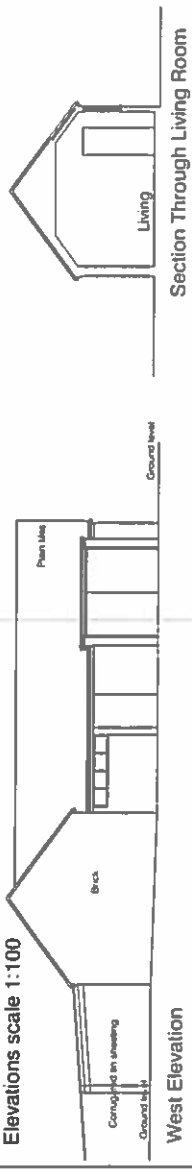
In accordance with the requirements of the NPPF the Local Planning Authority has worked with the applicant in a positive and proactive manner in order to secure sustainable development which will improve the economic, social and environmental conditions of the area by seeking additional information/plans of the development.



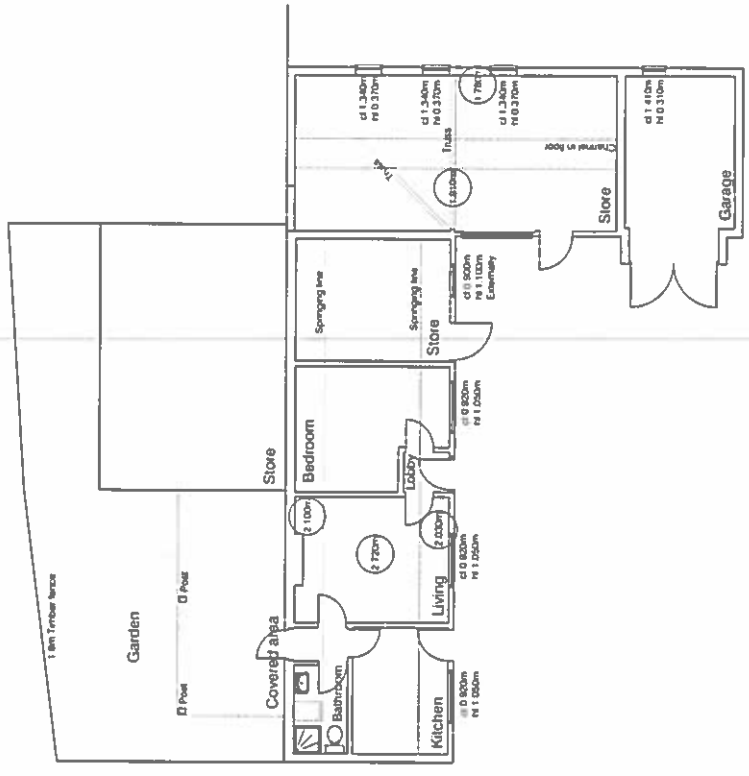
South Elevation
Elevations scale 1:100

East Elevation

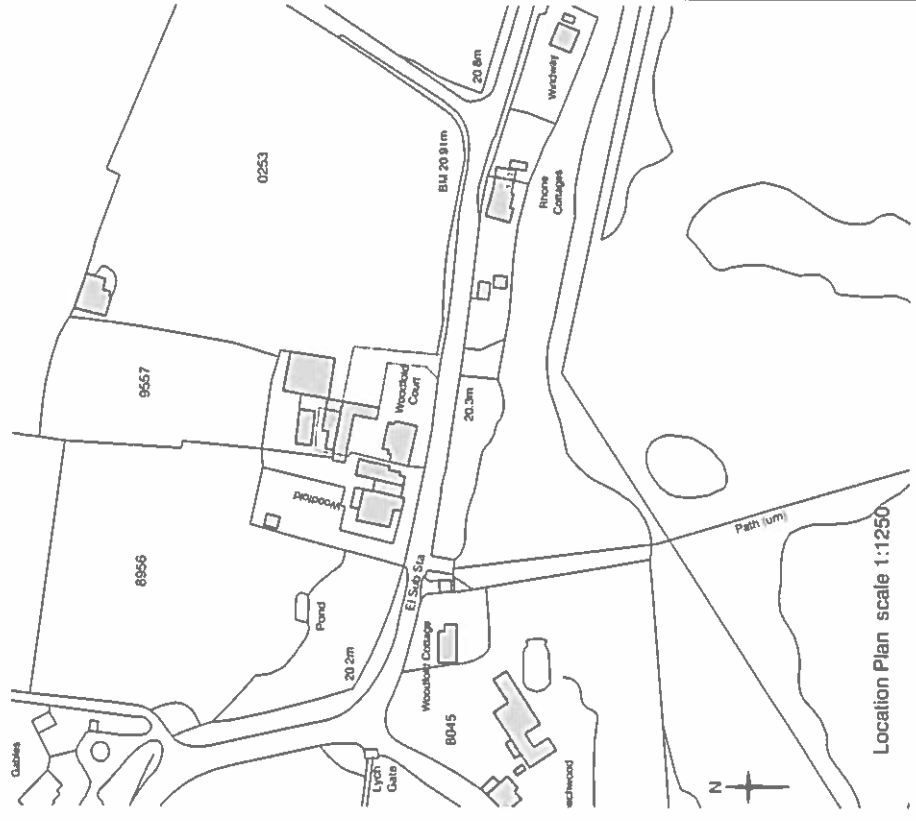
North Elevation



Section Through Living Room



Ground Floor Plan
Plans - scale 1:100



Location Plan scale 1:1250

GENERAL NOTES:
1. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ANY PRE-FABRICATION OR BUILDING WORK COMMENCING.
2. DO NOT SCALE THIS DRAWING FOR USE FOR DIMENSIONS ONLY.
3. THIS DRAWING TO BE USED IN CONNECTION WITH ANY OTHER DRAWINGS AND SPECIFICATIONS & CALCULATIONS AND SPECIFICATION NOTES.

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Client

Job Title

Annexe to
Woodfold Court
Down Hatherley Lane
Down Hatherley
Gloucester
GL2 9QB

Drawing Title

Annexe Survey Drawing

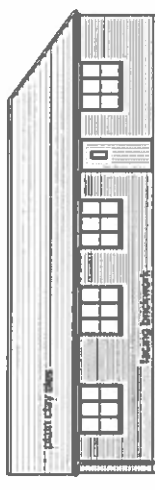
Scale	Date	Drawn
As shown @ A2	02.07.2016	plm - ph

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322/A



South Elevation
Elevations scale 1:100



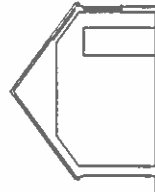
East Elevation



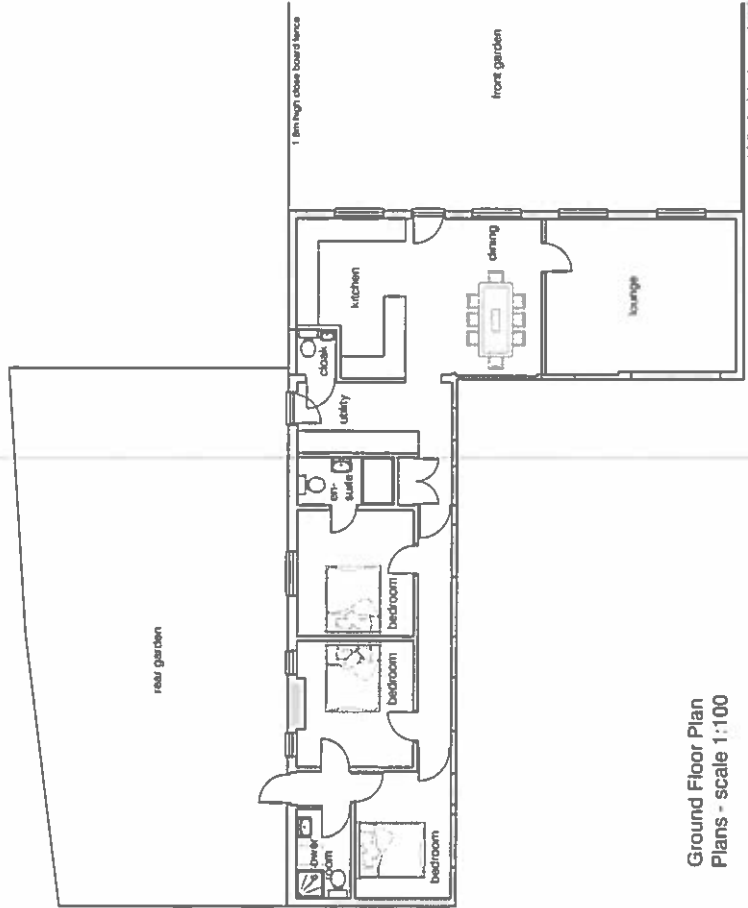
North Elevation



West Elevation



Typical Section



Ground Floor Plan
Plans - scale 1:100



Block Plan scale 1:500

Revision C Post and rail fence shown on south-east boundary, porch removed on block plan 25 03 2019
Revision B Cladding changed to unpainted feather-edge boarding, porch removed, lounge glazed doors replaced by window.
30 01 2019
Revision A Application site amended
23 10 2018

GENERAL NOTES
1 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ANY PREPARATION OF BUILDING WORK COMMENCING
2 DO NOT SCALE THIS DRAWING USE PROVIDED DIMENSIONS ONLY
3 THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY OTHER DRAWINGS AND SPECIFICATIONS AND SPECIFICATION NOTES

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Client

Job Title

Annexe to
Woodfold Court
Down Hatherley Lane
Down Hatherley
Gloucester
GL2 9QB

Drawing Title

Planning Proposals
for Change of Use to
Detached Dwelling

Scale	Date	Drawn
as shown @ A2	25 07 2018	pam

18	46	02C
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Architect's License

322/B

BOROUGH COUNCILLORS FOR THE RESPECTIVE WARDS 2019-2023

Ward	Parishes or Wards of	Councillors	Ward	Parishes or Wards of	Councillors
Badgeworth	Badgeworth (incl. Bentham) Great Witcombe Staverton	Robert Vines	Isbourne	Ashchurch Rural (incl. Walton Cardiff) Buckland Dumbleton Oxenton Snowhill Stanton Stanway Teddington Toddington	John Evetts Mel Gore
Brockworth East	Brockworth Parish (East Ward)	Louise Gerrard Sara Stevens			
Brockworth West	Brockworth Parish (West Ward)	Craig Carter Deborah Harwood			
Churchdown Brookfield with Hucclecote	Churchdown Parish (Brookfield Ward) Hucclecote	Gill Blackwell Paul Smith Richard Smith			
Churchdown St John's	Churchdown Parish (St John's Ward)	Mary Jordan Clare Softley Scott Thomson	Northway	Northway	Pauline Godwin Elaine MacTiernan
Cleeve Grange	Cleeve Grange Ward	Helen Munro	Severn Vale North	Deerhurst Elmstone Hardwicke Leigh Stoke Orchard & Tredington	Heather McLain
Cleeve Hill	Gotherington Southam Woodmancote	Mike Dean Anna Hollaway			
Cleeve St Michael's	Cleeve St Michael's Ward	Bob East Andrew Reece			
Cleeve West	Cleeve West Ward	Rob Bird Richard Stanley			
Highnam with Haw Bridge	Ashleworth Chaceley Forthampton Hasfield Highnam Maisemore Minsterworth Tirley	Paul McLain Jill Smith	Severn Vale South	Boddington Down Hatherley Norton Sandhurst Uckington	Mark Williams
			Shurdington	Shurdington	Philip Surman
			Tewkesbury East	Tewkesbury Town (Newtown Ward) Wheatpieces	Christine Reid Vernon Smith
			Tewkesbury North and Twyning	Tewkesbury Town (North Ward) Twyning	Mike Sztymiak Philip Workman
Innsworth	Innsworth Longford Twigworth	Graham Bocking Paul Ockelton	Tewkesbury South	Tewkesbury Town (South Ward)	Cate Cody Kevin Cromwell
			Winchcombe	Alderton Gretton Hawling Prescott Sudeley Winchcombe	David Gray Jim Mason John Murphy